

Regular Meeting
No. 7

July 7, 2020
9:00 AM

Commissioners of Brazoria Drainage District No. 4 convened in session July 7, 2020 with the following Commissioners present:

Jeffrey H. Brennan

Dan Keller

*Harrison Rogers

*via conference call

Others Attending:

See Attached List

Following the invocation and Pledge of Allegiance, the Board considered the following items:

II. PUBLIC COMMENTS:

Mr. Clarence J. Henderson resident at 2725 Shauntel St. – Expressed concern about Mary's Creek bank erosion near his house. Mr. Henderson would like the District to remedy the erosion.

III. APPROVAL OF MINUTES:

Regular Meeting – June 2, 2020

Motion: Commissioner Brennan; Second: Commissioner Keller; To approve the minutes as submitted. Motion carried unanimously.

Executive Session – June 18, 2020

Motion: Commissioner Brennan; Second: Commissioner Keller; To approve the minutes as submitted. Motion carried unanimously.

IV. APPROVAL OF CHECKS:

Expenses for July and August 2020

Motion: Commissioner Brennan; Second: Commissioner Keller; To approve the checks numbered 38507 – 38585. Motion carried unanimously.

V. NEW BUSINESS:

- A. Discussion, Consideration & Possible Action** – To accept an Order Adopting Records Control Schedule updating the District records management program.

Motion: Commissioner Brennan; Second: Commissioner Keller; To accept an Order Adopting Records Control Schedule updating the District records management program. Motion carried unanimously.

- B. Discussion, Consideration & Possible Action** – To determine classification of the District pertaining to Senate Bill 2 in regards to the Truth in Taxation provisions.

Motion: Commissioner Brennan; Second: Commissioner Keller; To declare BDD4 a “Developing District” thus falling under Texas Water Code 49.23603. Motion carried unanimously.

- C. Discussion, Consideration & Possible Action** – To amend the 2019-2020 annual budget.

Motion: Commissioner Brennan; Second: Commissioner Keller; To amend the 2019-2020 annual flood control budget in the amount of \$4.5M utilizing funds from reserve monies. Motion carried unanimously.

VI. VARIANCE REQUESTS:

- A. Discussion, Consideration & Possible Action** – Development Plat of Segenhof – BDD4 #20145 – Variance Request – Kristofer Schoeffler – Immediately west of the intersection of Roy Rd. & Hickory Slough.
1. Variance Request: Variance from District Rules, Regulations & Guidelines for the plat from the Development of Segenhof.

Commissioner Rogers recuses himself.

Motion to table: Commissioner Keller; Second: Commissioner Brennan;

Commissioner Keller: Aye; Commissioner Brennan: No. Motion to table failed.

Motion to approve 85’ Drainage Easement width based on the recommendation of Jarrod Aden, P.E., Lentz Engineering, District Engineer. Commissioner Brennan; Second: No second. Motion failed.

Commissioner Brennan asked staff to continue to work with Mr. Schoeffler. Mr. Schoeffler requested this item to be added to the August 4th agenda.

- B. Discussion, Consideration & Possible Action** – Clover Skies Lot 14 – BDD4 #19177 – Variance Request – Antonius Widjokongko – Lot 14 at Pearland Regional Airport near Cowart Creek.
1. Variance Request: To develop Lot 14 of Clover Skies without any requirement to provide additional detention capacity.

Motion: Commissioner Brennan; Second: Commissioner Keller; To deny the variance for the development of Lot 14 in the Clover Skies subdivision without providing any additional detention capacity. Motion carried unanimously.

C. **Discussion, Consideration & Possible Action** – LPGPC – BDD4 #20144 – Variance Request – PRO-SURV – On CR 132 just west of CR 128.

1. Variance Request: To allow a temporary encroachment of a portion of an existing building within the drainage easement as defined by the standard District Consent to Encroach Agreement and authorize the Chairman to sign said agreement.

Motion: Commissioner Brennan; Second: Commissioner Rogers; To allow a temporary encroachment of a portion of an existing building within the drainage easement as defined by the standard District Consent to Encroach Agreement and authorize the Chairman to sign said agreement based on the recommendation of Jarrod Aden, P.E., Lentz Engineering, District Engineer. Motion carried unanimously.

D. **Discussion, Consideration & Possible Action** – Surface Water Treatment Plant (City of Pearland) – BDD4 #19195 – Variance Request – Freese and Nichols, Inc. – On Mustang Bayou near CR 48.

1. Variance Request: To allow the outfall pipe to be 6” above the static water surface elevation instead of the required 12”.

Motion: Commissioner Brennan; Second: Commissioner Rogers; To allow the outfall pipe to be 6” above the static water surface elevation instead of the required 12” based on the recommendation of Jarrod Aden, P.E., Lentz Engineering, District Engineer. Motion carried unanimously.

E. **Discussion, Consideration & Possible Action** – Charleston Ultimate Detention – BDD4 #20149 – Variance Request – Odyssey Engineering Group – North side of SH 6 on the western boundary of BDD4 (approving only portions within BDD4 jurisdiction).

1. Variance Request: To allow a grass lined emergency overflow swale as opposed to the required concrete lined swale.

Motion: Commissioner Brennan; Second: Commissioner Rogers; To allow a grass lined emergency overflow swale as opposed to the required concrete lined swale with a 4:1 slope based on the recommendation of Jarrod Aden, P.E., Lentz Engineering, District Engineer. Commissioner Brennan & Commissioner Rogers: Aye; Commissioner Keller: No. Motion carried by majority.

F. **Discussion, Consideration & Possible Action** – Cmajdalka Estates – BDD4 #19183 – Variance Request – Blake Cmajdalka – 2644 Miller Ranch Rd.

1. Variance Request: To allow a temporary encroachment of a fence within the drainage easement as defined by the standard District Consent to Encroach Agreement and authorize the Chairman to sign said agreement.

Motion: Commissioner Brennan; Second: Commissioner Keller; To allow a temporary encroachment of a fence within the drainage easement as defined by the standard District Consent to Encroach Agreement and authorize the Chairman to sign said agreement based on the recommendation of Jarrod Aden, P.E., Lentz Engineering, District Engineer. Motion carried unanimously.

G. Discussion, Consideration & Possible Action – Del Bello Lakes – BDD4 #19203 – Variance Request – LJA Engineering, Inc. – Between future Manvel Pkwy. and SH 288; west of the American Canal.

1. Variance Request #1: To allow the outfall pipe to be 6” above the static water surface elevation instead of the required 12”.

Motion: Commissioner Brennan; Second: Commissioner Keller; To allow the outfall pipe to be 6” above the static water surface elevation instead of the required 12” based on the recommendation of Jarrod Aden, P.E., Lentz Engineering, District Engineer. Motion carried unanimously.

2. Variance Request #2: To allow a grass lined emergency overflow swale as opposed to the required concrete lined swale.

Motion: Commissioner Brennan; Second: Commissioner Rogers; To allow a grass lined emergency overflow swale as opposed to the required concrete lined swale based on the recommendation of Jarrod Aden, P.E., Lentz Engineering, District Engineer. Commissioner Brennan & Commissioner Rogers: Aye; Commissioner Keller: No. Motion carried by majority.

3. Variance Request #3: The reduction of maintenance berm width from the required 30’ to 20’.

Motion: Commissioner Brennan; Second: Commissioner Rogers; The reduction of maintenance berm width on Del Bello detention ponds from the required 30’ to 20’ based on the recommendation of Jarrod Aden, P.E., Lentz Engineering, District Engineer. Commissioner Brennan & Commissioner Rogers: Aye; Commissioner Keller: No. Motion carried by majority.

H. Discussion, Consideration & Possible Action – CR 190 Bridge Replacement (Brazoria County) – Variance Request – IEA, Inc. – On CR 190 near intersection of CR 383.

1. Variance Request: A reduction of the low chord requirement relative to the 100-year water surface elevation.

Motion: Commissioner Brennan; Second: Commissioner Rogers; To open for discussion the variance request submitted by IEA, Inc. for the CR 190 Bridge Replacement.

Amended motion: Commissioner Brennan; Second: Commissioner Keller; To table the discussion for the CR 190 Bridge Replacement variance request until a meeting with Brazoria County to further discuss this project based on the recommendation of Jarrod Aden, P.E., Lentz Engineering, District Engineer. Motion carried unanimously.

- I. **Discussion, Consideration & Possible Action** – CR 58 from Savannah Development to CR 48 (Brazoria County) – BDD4 #19142 – Variance Request – McDonough Engineering Corporation – CR 58 from the Savannah Development to CR 48.

1. Variance Request: To allow a 3:1 pond side slope as opposed to the required 4:1.

Motion: Commissioner Brennan; Second: Commissioner Rogers; To allow a 3:1 pond side slope as opposed to the required 4:1 based on the recommendation of Jarrod Aden, P.E., Lentz Engineering, District Engineer. Motion carried unanimously.

VII. PLATS & PLAN:

- A. **Discussion, Consideration & Possible Action** – Cullen RV Resort – BDD4 #19105 – Final Drainage Plan – N Architectural Group – Southwest corner of Bailey Rd. & Joe Dr.
- B. **Discussion, Consideration & Possible Action** – Commercial Building – BDD4 #20159 – Final Drainage Plan – AL&B Engineering Services, LLC – 8194 CR 128.
- C. **Discussion, Consideration & Possible Action** – LPGPC – BDD4 #20144 – Final Plat – PRO-SURV – On CR 132 just west of CR 128.
- D. **Discussion, Consideration & Possible Action** – Shops at Sedona – BDD4 #19199 – Final Drainage Plan – Heights Engineering, LLC – North West intersection of CR 101 & CR 94.
- E. **Discussion, Consideration & Possible Action** – Manvel Town Center Wastewater Treatment Plant Phase 1 – BDD4 #18141 – Final Drainage Plans – BGE, Inc. – North West of the intersection of SH 288 & SH 6 in the future Manvel Town Center development.
- F. **Discussion, Consideration & Possible Action** – Charleston Ultimate Detention – BDD4 #20149 – Final Drainage Plans – Odyssey Engineering Group – North side of SH 6 on the western boundary of BDD4 (approving only portions within BDD4 jurisdiction).

- G. **Discussion, Consideration & Possible Action** – Pomona Wastewater Treatment Plant Phase 3 – BDD4 #19201 – Final Drainage Plan – LJA Engineering, Inc. – Located near Croix Parkway bridge on the south side of Mustang Bayou within the Pomona development.
- H. **Discussion, Consideration & Possible Action** – Surface Water Treatment Plant (City of Pearland) – BDD4 #19195 – Final Drainage Plan – Freese and Nichols, Inc. – On Mustang Bayou near CR 48.
- I. **Discussion, Consideration & Possible Action** – Manvel Town Center Water Plant – BDD4 #18153 – Final Drainage Plan – BGE, Inc. – At the northwest intersection of SH 288 & SH 6 in future Manvel Town Center.
- J. **Discussion, Consideration & Possible Action** – Moore Estates – BDD4 #20168 – Final Plat – Survey 1, Inc. – 7946 Moore Rd.; west of the railroad, north of CR 100.

Motion: Commissioner Brennan; Second: Commissioner Keller; To approve the plats and plans as submitted based on the recommendation of Jarrod Aden, P.E., Lentz Engineering, District Engineer. Motion carried unanimously.

VIII. ADJOURN:

No further business, the meeting adjourned at 10:46 A.M., July 7, 2020.

Jeffrey H. Brennan, Chairman

Dan Keller, Secretary

Harrison Rogers



Brazoria Drainage District No. 4

A Political Subdivision of the State of Texas

JULY 07, 2020

Attending Regular Meeting No. 7 held by Commissioners of Brazoria Drainage District No. 4.

NAME	BUSINESS AFFILIATION
Clarence J. Henderson	Home Owner
Lillian Blumer	BDD4
Adam Gesso	BDD4
Cristina Colon	BDD4
Clint Gabel	BDD4
LIA PHONE CONF. Jim Mooney	
Kristopher Schoeffler	
TANIA FEDORENKO	
Kyle Moynihan	
Dillon Wilborn	BDD4
Scott Feulless	
Robert Booth	LIA ENGINEERING
Harrison Rogers	
Rahul Gupta	
Sarah Roeder	BDD4

Brazoria Drainage District No.4		
Budget 2020 - 2021		
October 1, 2020 thur September 30, 2021		
	Certified Taxable Value for 2019	Estimated Taxable Value for 2020
	\$12,483,520,669	\$13,412,241,226
Tax Rate	0.146000	0.146000
	CURRENT BUDGET	PROPOSED BUDGET
Labor - Gross	4,825,000	5,000,000
Employee Benefit	2,700,000	3,100,000
Liability/WC Insurance	280,000	320,000
Accounting	-	80,000
Engineering	-	155,000
Legal	50,000	50,000
Capital Equipment M/R	300,000	350,000
Fuel & Oil	390,000	390,000
Tools & Shop	280,000	280,000
Office & Misc	150,000	150,000
Utilities	75,000	75,000
Audit Expense	35,000	40,000
County Services	150,000	160,000
Equipment Replacement	1,100,000	950,000
Capital Improvement	100,000	100,000
Emergency Funding	300,000	300,000
Flood Control/Engineering/Vegetation Control	6,465,000	7,000,000
Land Acquisition	1,000,000	1,000,000
Totals	18,200,000	19,500,000

BRAZORIA COUNTY APPRAISAL DISTRICT

MEMBERS OF THE BOARD

Ro'Vin Garrett
Tommy King
Gail Robinson
Glenn Salyer
George Sandars
Susan Spoor

CHIEF APPRAISER

Cheryl Evans
500 North Chenango
Angleton, Texas 77515
979-849-7792
Fax 979-849-7984

A message from the Chief Appraiser of Brazoria County Appraisal District:

As all of you know this is a difficult time in our county, in our state and country and the world. As leaders, we are all being faced daily with challenges to maintain acceptable standards for those we serve.

Part of the responsibility put on me, as chief appraiser, is to deliver to you an accurate certified tax roll so that you can prepare for the upcoming year with your utmost due diligence.

Unfortunately, for the first time in my career – I am unable to do so.

Limitations brought on by Covid 19 hampered the timely procession of appraisal review board hearings and therefore the Brazoria County Appraisal Review Board was unable to approve the district's records under Tax Code Section 41.12.

However, as if our legislature had insight into what was about to happen, they added a caveat under Section 26.01 (SB2-subsection a-1) to provide that if by July 20th the ARB has not approved the appraisal records for the district, **the chief appraiser shall prepare and certify for each taxing unit an estimate of the taxable value of property in that taxing unit.**

I want to assure each of you that the attached estimate is viable and very close to being part of a completed certified roll.

Your patience and understanding is appreciated and if you have any questions or concerns, please feel free to contact me.

Sincerely,



Cheryl Evans
Chief Appraiser
Brazoria County Appraisal District

BRAZORIA COUNTY APPRAISAL DISTRICT
STATE OF TEXAS
COUNTY OF BRAZORIA

2020 CERTIFIED ESTIMATE OF TAXABLE VALUE

BRAZORIA COUNTY DRAINAGE DISTRICT #4
(Pearland)

In compliance with Section 26.01(a-1) of the State Property Tax Laws, "submission of rolls to taxing units," notice is hereby given to-wit:

ESTIMATED TAXABLE VALUE FOR 2020

TOTAL TAXABLE VALUE \$12,225,130,618

ESTIMATED TAXABLE VALUE FOR THE 2020 STILL UNDER PROTEST
(properties still under protest)

B.C.A.D. APPRAISED VALUE

*VALUE CLAIMED BY OWNER

\$1,290,337,617

\$1,187,110,608

SUMMARY

ESTIMATED TAXABLE VALUE FOR 2020 \$12,225,130,618

*ESTIMATED TAXABLE VALUE FOR 2020 UNDER PROTEST \$1,187,110,608

NET TAXABLE VALUE \$13,412,241,226

I, Cheryl Evans, Chief Appraiser for the Brazoria County Appraisal District, do hereby certify the correctness of the certified estimate.

Cheryl Evans
Cheryl Evans, Chief Appraiser

July 23, 2020
Date

2020 PRELIMINARY TOTALS

DR4 - BRAZORIA COUNTY DRAINAGE DISTRICT #4 (PEARLAND)

Property Count: 65,491

Not Under ARB Review Totals

7/21/2020

9:58:42PM

Land		Value			
Homesite:		1,588,437,789			
Non Homesite:		1,179,332,281			
Ag Market:		140,734,150			
Timber Market:		0	Total Land	(+)	2,908,504,220
Improvement		Value			
Homesite:		9,067,582,990			
Non Homesite:		3,033,375,288	Total Improvements	(+)	12,100,958,278
Non Real		Count	Value		
Personal Property:	6,293		1,046,510,800		
Mineral Property:	5,959		113,532,333		
Autos:	0		0	Total Non Real	(+)
				Market Value	=
					1,160,043,133
					16,169,505,631
Ag	Non Exempt	Exempt			
Total Productivity Market:	140,734,150	0			
Ag Use:	949,860	0	Productivity Loss	(-)	139,784,290
Timber Use:	0	0	Appraised Value	=	16,029,721,341
Productivity Loss:	139,784,290	0			
			Homestead Cap	(-)	198,894,619
			Assessed Value	=	15,830,826,722
			Total Exemptions Amount (Breakdown on Next Page)	(-)	3,607,284,329
			Net Taxable	=	12,223,542,393

APPROXIMATE TOTAL LEVY = NET TAXABLE * (TAX RATE / 100)
 17,846,371.89 = 12,223,542,393 * (0.146000 / 100)

Tif Zone Code	Tax Increment Loss
2007 TIF	1,155,828,308
Tax Increment Finance Value:	1,155,828,308
Tax Increment Finance Levy:	1,687,509.33

2020 PRELIMINARY TOTALS

DR4 - BRAZORIA COUNTY DRAINAGE DISTRICT #4 (PEARLAND)

Property Count: 65,491

Not Under ARB Review Totals

7/21/2020

10:00:22PM

Exemption Breakdown

Exemption	Count	Local	State	Total
DP	452	29,193,168	0	29,193,168
DV1	178	0	1,307,000	1,307,000
DV1S	3	0	15,000	15,000
DV2	126	0	1,038,000	1,038,000
DV2S	3	0	18,750	18,750
DV3	227	0	2,152,000	2,152,000
DV3S	4	0	40,000	40,000
DV4	542	0	4,306,136	4,306,136
DV4S	27	0	192,000	192,000
DVCH	1	0	122,684	122,684
DVHS	544	0	156,579,233	156,579,233
DVHSS	40	0	8,560,771	8,560,771
EX-XJ	2	0	4,164,130	4,164,130
EX-XL	2	0	1,187,560	1,187,560
EX-XN	420	0	98,896,710	98,896,710
EX-XV	2,113	0	996,923,690	996,923,690
EX-XV (Prorated)	10	0	711,267	711,267
EX366	1,760	0	155,203	155,203
FR	51	74,673,935	0	74,673,935
FRSS	1	0	351,252	351,252
HS	32,936	1,666,282,908	0	1,666,282,908
OV65	7,845	551,740,029	0	551,740,029
OV65S	76	4,963,082	0	4,963,082
PC	13	3,675,910	0	3,675,910
SO	24	33,911	0	33,911
Totals		2,330,562,943	1,276,721,386	3,607,284,329

2020 PRELIMINARY TOTALSDR4 - BRAZORIA COUNTY DRAINAGE DISTRICT #4 (PEARLAND)
Under ARB Review Totals

Property Count: 5,388

7/21/2020

9:58:42PM

Land		Value			
Homesite:		187,680,299			
Non Homesite:		132,304,285			
Ag Market:		19,864,219			
Timber Market:		0	Total Land	(+)	339,848,803
Improvement		Value			
Homesite:		994,144,047			
Non Homesite:		221,858,507	Total Improvements	(+)	1,216,002,554
Non Real		Count	Value		
Personal Property:	121		25,053,450		
Mineral Property:	0		0		
Autos:	0		0	Total Non Real	(+) 25,053,450
			Market Value	=	1,580,904,807
Ag	Non Exempt	Exempt			
Total Productivity Market:	19,864,219	0			
Ag Use:	107,952	0	Productivity Loss	(-)	19,756,267
Timber Use:	0	0	Appraised Value	=	1,561,148,540
Productivity Loss:	19,756,267	0			
			Homestead Cap	(-)	28,861,609
			Assessed Value	=	1,532,286,931
			Total Exemptions Amount (Breakdown on Next Page)	(-)	240,299,716
			Net Taxable	=	1,291,987,215

APPROXIMATE TOTAL LEVY = NET TAXABLE * (TAX RATE / 100)

1,886,301.33 = 1,291,987,215 * (0.146000 / 100)

Tif Zone Code	Tax Increment Loss
2007 TIF	97,542,768
Tax Increment Finance Value:	97,542,768
Tax Increment Finance Levy:	142,412.44

2020 PRELIMINARY TOTALSDR4 - BRAZORIA COUNTY DRAINAGE DISTRICT #4 (PEARLAND)
Under ARB Review Totals

Property Count: 5,388

7/21/2020

10:00:22PM

Exemption Breakdown

Exemption	Count	Local	State	Total
DP	41	2,916,100	0	2,916,100
DV1	13	0	79,000	79,000
DV2	16	0	129,000	129,000
DV3	24	0	252,000	252,000
DV4	36	0	420,000	420,000
DV4S	2	0	18,000	18,000
DVHS	10	0	2,259,959	2,259,959
EX-XV	1	0	4,156,580	4,156,580
EX366	2	0	390	390
HS	3,469	190,639,955	0	190,639,955
OV65	536	39,274,232	0	39,274,232
OV65S	2	150,000	0	150,000
SO	3	4,500	0	4,500
Totals		232,984,787	7,314,929	240,299,716

2020 PRELIMINARY TOTALS

DR4 - BRAZORIA COUNTY DRAINAGE DISTRICT #4 (PEARLAND)

Property Count: 65,491

Not Under ARB Review Totals

7/21/2020 10:00:22PM

State Category Breakdown

State Code	Description	Count	Acres	New Value	Market Value	Taxable Value
A	SINGLE FAMILY RESIDENCE	41,570		\$169,325,423	\$10,593,681,787	\$7,985,589,491
B	MULTIFAMILY RESIDENCE	77		\$6,797,880	\$969,329,246	\$969,107,591
C1	VACANT LOTS AND LAND TRACTS	3,759		\$0	\$157,692,817	\$157,669,660
D1	QUALIFIED OPEN-SPACE LAND	507	8,339.1133	\$0	\$140,734,150	\$949,473
D2	IMPROVEMENTS ON QUALIFIED OP	48		\$27,660	\$542,618	\$542,618
E	RURAL LAND, NON QUALIFIED OPE	997	6,447.0719	\$1,544,770	\$180,258,007	\$169,169,235
F1	COMMERCIAL REAL PROPERTY	1,247		\$55,310,330	\$1,681,638,016	\$1,681,614,016
F2	INDUSTRIAL AND MANUFACTURIN	34		\$2,815,100	\$149,553,790	\$149,553,790
G1	OIL AND GAS	4,340		\$0	\$113,410,532	\$113,410,532
G3	OTHER SUB-SURFACE INTERESTS I	29		\$0	\$290	\$290
J1	WATER SYSTEMS	19		\$0	\$449,480	\$449,480
J2	GAS DISTRIBUTION SYSTEM	6		\$0	\$16,662,110	\$16,662,110
J3	ELECTRIC COMPANY (INCLUDING C	60		\$0	\$61,730,880	\$61,730,880
J4	TELEPHONE COMPANY (INCLUDI	113		\$0	\$16,714,920	\$16,714,920
J5	RAILROAD	12		\$0	\$14,398,280	\$14,398,280
J6	PIPELAND COMPANY	196		\$0	\$71,889,510	\$69,362,910
J7	CABLE TELEVISION COMPANY	31		\$0	\$17,984,980	\$17,984,980
J8	OTHER TYPE OF UTILITY	1		\$0	\$2,050	\$2,050
L1	COMMERCIAL PERSONAL PROPE	5,137		\$3,825,530	\$502,003,700	\$492,568,794
L2	INDUSTRIAL AND MANUFACTURIN	114		\$34,603,700	\$226,627,200	\$160,239,092
M1	TANGIBLE OTHER PERSONAL, MOB	1,906		\$2,580,630	\$34,175,670	\$28,720,591
O	RESIDENTIAL INVENTORY	1,489		\$42,893,299	\$93,736,887	\$92,851,690
S	SPECIAL INVENTORY TAX	38		\$0	\$24,249,920	\$24,249,920
X	TOTALLY EXEMPT PROPERTY	4,307		\$9,447,940	\$1,102,038,791	\$0
	Totals		14,786.1852	\$329,172,262	\$16,169,505,631	\$12,223,542,393

2020 PRELIMINARY TOTALS

DR4 - BRAZORIA COUNTY DRAINAGE DISTRICT #4 (PEARLAND)

Property Count: 5,388

Under ARB Review Totals

7/21/2020 10:00:22PM

State Category Breakdown

State Code	Description	Count	Acres	New Value	Market Value	Taxable Value
A	SINGLE FAMILY RESIDENCE	4,306		\$31,019,075	\$1,169,812,915	\$907,634,083
B	MULTIFAMILY RESIDENCE	17		\$0	\$4,834,037	\$4,834,037
C1	VACANT LOTS AND LAND TRACTS	227		\$0	\$22,963,270	\$22,963,270
D1	QUALIFIED OPEN-SPACE LAND	89	1,178.2492	\$0	\$19,864,219	\$107,402
D2	IMPROVEMENTS ON QUALIFIED OP	6		\$0	\$98,900	\$98,900
E	RURAL LAND, NON QUALIFIED OPE	153	909.6486	\$794,950	\$35,964,814	\$33,260,097
F1	COMMERCIAL REAL PROPERTY	323		\$7,001,420	\$285,845,695	\$285,845,695
L1	COMMERCIAL PERSONAL PROPE	118		\$205,360	\$24,494,070	\$24,494,070
L2	INDUSTRIAL AND MANUFACTURIN	1		\$0	\$558,990	\$558,990
M1	TANGIBLE OTHER PERSONAL, MOB	55		\$77,060	\$1,009,190	\$888,934
O	RESIDENTIAL INVENTORY	186		\$4,049,626	\$11,301,737	\$11,301,737
X	TOTALLY EXEMPT PROPERTY	3		\$110,820	\$4,156,970	\$0
Totals			2,087.8978	\$43,258,311	\$1,580,904,807	\$1,291,987,215

2020 PRELIMINARY TOTALS

DR4 - BRAZORIA COUNTY DRAINAGE DISTRICT #4 (PEARLAND)

Property Count: 65,491

Not Under ARB Review Totals

7/21/2020 10:00:22PM

CAD State Category Breakdown

State Code	Description	Count	Acres	New Value	Market Value	Taxable Value
A		2		\$112,640	\$288,387	\$288,387
A1	SINGLE FAMILY RESIDENCE	39,950		\$168,056,213	\$10,498,425,431	\$7,914,794,264
A2	MOBILE HOME ON LAND	1,893		\$1,156,570	\$93,993,852	\$69,738,023
A3	IMPROVEMENT ONLY	16		\$0	\$974,117	\$768,817
B1	APARTMENTS	53		\$6,664,990	\$963,930,344	\$963,930,344
B2	DUPLEX	24		\$132,890	\$5,398,902	\$5,177,247
C1	VACANT LOT IN CITY	2,051		\$0	\$50,354,046	\$50,330,889
C2	COMMERCIAL OR INDUSTRIAL VAC	252		\$0	\$75,305,720	\$75,305,720
C3	VACANT LOT OUT SIDE CITY	1,457		\$0	\$32,033,051	\$32,033,051
D1	QUALIFIED AG LAND	508	8,339.7383	\$0	\$140,749,150	\$964,473
D2	IMPROVEMENTS ON QUALIFIED AG L	48		\$27,660	\$542,618	\$542,618
E		3		\$0	\$1,773	\$1,773
E1	FARM OR RANCH IMPROVEMENT	191		\$1,411,000	\$39,577,843	\$28,834,443
E2	FARM OR RANCH OUT BUILDINGS	250		\$133,770	\$2,140,802	\$2,126,381
E4	NON QUALIFIED AG LAND	611		\$0	\$138,522,589	\$138,191,638
F1	COMMERCIAL REAL PROPERTY	1,244		\$55,310,330	\$1,681,135,676	\$1,681,111,676
F2	INDUSTRIAL REAL PROPERTY	34		\$2,815,100	\$149,553,790	\$149,553,790
FX1	RELIGIOUS AND CHARITABLE ORGAN	2		\$0	\$146,860	\$146,860
FX8	CEMETERIES	1		\$0	\$355,480	\$355,480
G1	OIL AND GAS	4,340		\$0	\$113,410,532	\$113,410,532
G3	MINERALS NON PRODUCTING	29		\$0	\$290	\$290
J1	WATER SYSTEMS	19		\$0	\$449,480	\$449,480
J2	GAS DISTRIBUTION SYSTEM	6		\$0	\$16,662,110	\$16,662,110
J3	ELECTRIC COMPANY	60		\$0	\$61,730,880	\$61,730,880
J4	TELEPHONE COMPANY	113		\$0	\$16,714,920	\$16,714,920
J5	RAILROAD	12		\$0	\$14,398,280	\$14,398,280
J6	PIPELINES	196		\$0	\$71,889,510	\$69,362,910
J7	CABLE TELEVISION COMPANY	31		\$0	\$17,984,980	\$17,984,980
J8	REAL & TANGIBLE PERSONAL, UTILI	1		\$0	\$2,050	\$2,050
L1	COMMERCIAL PERSONAL PROPER	5,137		\$3,825,530	\$502,003,700	\$492,568,794
L2	INDUSTRIAL PERSONAL PROPERTY	114		\$34,603,700	\$226,627,200	\$160,239,092
M1	MOBILE HOMES	1,906		\$2,580,630	\$34,175,670	\$28,720,591
O1	RESIDENTIAL INVENTORY VACANT L	1,170		\$0	\$44,569,921	\$44,569,921
O2	RESIDENTIAL INVENTORY IMPROVEN	319		\$42,893,299	\$49,166,966	\$48,281,769
S	SPECIAL INVENTORY	38		\$0	\$24,249,920	\$24,249,920
X	TOTAL EXEMPT	4,307		\$9,447,940	\$1,102,038,791	\$0
	Totals		8,339.7383	\$329,172,262	\$16,169,505,631	\$12,223,542,393

2020 PRELIMINARY TOTALS

DR4 - BRAZORIA COUNTY DRAINAGE DISTRICT #4 (PEARLAND)

Property Count: 5,388

Under ARB Review Totals

7/21/2020 10:00:22PM

CAD State Category Breakdown

State Code	Description	Count	Acres	New Value	Market Value	Taxable Value
A1	SINGLE FAMILY RESIDENCE	4,226		\$30,924,395	\$1,160,856,021	\$900,567,156
A2	MOBILE HOME ON LAND	110		\$94,680	\$8,827,594	\$7,066,927
A3	IMPROVEMENT ONLY	1		\$0	\$129,300	\$0
B1	APARTMENTS	7		\$0	\$3,122,460	\$3,122,460
B2	DUPLEX	10		\$0	\$1,711,577	\$1,711,577
C1	VACANT LOT IN CITY	89		\$0	\$6,282,580	\$6,282,580
C2	COMMERCIAL OR INDUSTRIAL VAC	51		\$0	\$10,697,520	\$10,697,520
C3	VACANT LOT OUT SIDE CITY	87		\$0	\$5,983,170	\$5,983,170
D1	QUALIFIED AG LAND	89	1,178.2492	\$0	\$19,864,219	\$107,402
D2	IMPROVEMENTS ON QUALIFIED AG L	6		\$0	\$98,900	\$98,900
E1	FARM OR RANCH IMPROVEMENT	53		\$572,920	\$12,767,970	\$10,077,052
E2	FARM OR RANCH OUT BUILDINGS	28		\$222,030	\$947,162	\$947,162
E4	NON QUALIFIED AG LAND	85		\$0	\$22,249,682	\$22,235,883
F1	COMMERCIAL REAL PROPERTY	323		\$7,001,420	\$285,845,695	\$285,845,695
L1	COMMERCIAL PERSONAL PROPER	118		\$205,360	\$24,494,070	\$24,494,070
L2	INDUSTRIAL PERSONAL PROPERTY	1		\$0	\$558,990	\$558,990
M1	MOBILE HOMES	55		\$77,060	\$1,009,190	\$888,934
O1	RESIDENTIAL INVENTORY VACANT L	160		\$0	\$6,037,005	\$6,037,005
O2	RESIDENTIAL INVENTORY IMPROVEM	26		\$4,049,626	\$5,264,732	\$5,264,732
X	TOTAL EXEMPT	3		\$110,820	\$4,156,970	\$0
	Totals		1,178.2492	\$43,258,311	\$1,580,904,807	\$1,291,987,215

2020 PRELIMINARY TOTALS

DR4 - BRAZORIA COUNTY DRAINAGE DISTRICT #4 (PEARLAND)

Property Count: 70,879

Effective Rate Assumption

7/21/2020 10:00:22PM

New Value

TOTAL NEW VALUE MARKET: **\$372,430,573**
 TOTAL NEW VALUE TAXABLE: **\$310,739,542**

New Exemptions

Exemption	Description	Count		
EX-XN	11.252 Motor vehicles leased for personal use	29	2019 Market Value	\$506,430
EX-XV	Other Exemptions (including public property, re	36	2019 Market Value	\$1,808,150
EX366	HB366 Exempt	1,078	2019 Market Value	\$1,990,061
ABSOLUTE EXEMPTIONS VALUE LOSS				\$4,304,641

Exemption	Description	Count	Exemption Amount
DP	Disability	5	\$285,640
DV1	Disabled Veterans 10% - 29%	17	\$120,000
DV2	Disabled Veterans 30% - 49%	11	\$87,000
DV3	Disabled Veterans 50% - 69%	33	\$340,000
DV4	Disabled Veterans 70% - 100%	65	\$780,000
DV4S	Disabled Veterans Surviving Spouse 70% - 100%	3	\$30,000
DVHS	Disabled Veteran Homestead	21	\$5,168,421
HS	Homestead	1,125	\$64,646,382
OV65	Over 65	619	\$43,654,218
OV65S	OV65 Surviving Spouse	8	\$525,000
PARTIAL EXEMPTIONS VALUE LOSS		1,907	\$115,636,661
NEW EXEMPTIONS VALUE LOSS			\$119,941,302

Increased Exemptions

Exemption	Description	Count	Increased Exemption Amount
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INCREASED EXEMPTIONS VALUE LOSS

TOTAL EXEMPTIONS VALUE LOSS **\$119,941,302**

New Ag / Timber Exemptions

2019 Market Value **\$1,168,754** Count: 9
 2020 Ag/Timber Use **\$16,540**
NEW AG / TIMBER VALUE LOSS \$1,152,214

New Annexations**New Deannexations****Average Homestead Value****Category A and E**

Count of HS Residences	Average Market	Average HS Exemption	Average Taxable
35,944	\$269,377	\$57,936	\$211,441

Category A Only

Count of HS Residences	Average Market	Average HS Exemption	Average Taxable
35,810	\$269,410	\$57,913	\$211,497

BRAZORIA County

2020 PRELIMINARY TOTALS

DR4 - BRAZORIA COUNTY DRAINAGE DISTRICT #4 (PEARLAND)
Lower Value Used

Count of Protested Properties	Total Market Value	Total Value Used
5,388	\$1,580,904,807.00	\$1,156,163,037

4813 W. Broadway
Pearland, Texas 77581
(281) 485-1434



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Brazoria Drainage District No. 4

A Political Subdivision of the State of Texas

August 4, 2020

Board of Commissioners
Brazoria Drainage District No. 4
4813 W Broadway St.
Pearland, Texas 77581

Re: Bid #20609 – Concrete Paving Services Annual Contract

Dear Commissioners,

A bid for the above-referenced project was received at a public bid opening at the District office on July 23, 2020. One (1) sealed bid was opened and read aloud at 10:00 a.m.

The results of the bid opening are reported on the attached bid tabulation. No bid or math errors were found during this tabulation.

We recommend to offer award of the Concrete Paving Services Annual Contract to JBRI Construction. The District has prior experience with JBRI Construction and is familiar with their qualifications.

Thank you,

Leigh Blumer

Leigh Blumer
Assistant Superintendent

**BID COMPARISON FOR
20609 - CONCRETE PAVING SERVICES ANNUAL CONTRACT
FOR BRAZORIA DRAINAGE DISTRICT NO. 4**

			2018	2019	2020	
ITEM			JBRI	JBRI	JBRI	COST COMPARISON
			UNIT PRICE	UNIT PRICE	UNIT PRICE	2019 JBRI vs 2020 JBRI
ALL PROJECTS GREATER THAN 500 SQUARE FEET						
1) MOBILIZATION	1	LS	\$1,700.00	\$1,670.00	\$1,670.00	0% increase/savings
2) 2 FOOT DEEP REINFORCED CONCRETE TOE WALL AS PER BDD4 DETAILS INCLUDING ALL DEWATERING, FORMWORK, CONCRETE, EXCAVATION, DISPOSAL OF SPOILS, REBAR, AND REMOVAL AND DISPOSAL OF FORMWORK AFTER CURING	1	LF	\$32.00	\$32.00	\$32.00	0% increase/savings
3) 4 FOOT DEEP REINFORCED CONCRETE TOE WALL AS PER BDD4 DETAILS INCLUDING ALL DEWATERING, FORMWORK, CONCRETE, EXCAVATION, DISPOSAL OF SPOILS, REBAR, AND REMOVAL AND DISPOSAL OF FORMWORK AFTER CURING	1	LF	\$54.00	\$54.00	\$54.00	0% increase/savings
4) 6 FOOT DEEP REINFORCED CONCRETE TOE WALL AS PER BDD4 DETAILS INCLUDING ALL DEWATERING, FORMWORK, CONCRETE, EXCAVATION, DISPOSAL OF SPOILS, REBAR, AND REMOVAL AND DISPOSAL OF FORMWORK AFTER CURING	1	LF			\$71.00	new line item
5) 5 INCH THICK REINFORCED CONCRETE SLOPE PAVING AS PER BDD4 DETAILS INCLUDING ALL DEWATERING, FORMWORK, CONCRETE, EXCAVATION, DISPOSAL OF SPOILS, REBAR, AND REMOVAL AND DISPOSAL OF FORMWORK AFTER CURING. BACKFILLING/COMPACTION AND FINAL GRADING OF ALL DISTURBED AREAS	1	SY	\$127.00	\$127.00	\$127.00	0% increase/savings
6) 6 INCH THICK REINFORCED CONCRETE SLOPE PAVING AS PER BDD4 DETAILS INCLUDING ALL DEWATERING, FORMWORK, CONCRETE, EXCAVATION, DISPOSAL OF SPOILS, REBAR, AND REMOVAL AND DISPOSAL OF FORMWORK AFTER CURING. BACKFILLING/COMPACTION AND FINAL GRADING OF ALL DISTURBED AREAS	1	SY	\$131.00	\$131.00	\$131.00	0% increase/savings
7) WEEP HOLES AS PER BDD4 DETAILS INCLUDING ALL PIPE, AGGREGATE, GEOTEXTILE MATERIALS, AND EXCAVATION	1	EA			\$137.00	new line item
8) 4 INCH THICK REINFORCED CONCRETE FLAT PAVING AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, EXCAVATION, DISPOSAL OF SPOILS, REBAR, AND REMOVAL AND DISPOSAL OF FORMWORK AFTER CURING. BACKFILLING/COMPACTION AND FINAL GRADING OF ALL DISTURBED AREAS	1	SF	\$0.00	\$12.90	\$12.90	0% increase/savings
9) 5 INCH THICK REINFORCED CONCRETE FLAT PAVING AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, EXCAVATION, DISPOSAL OF SPOILS, REBAR, AND REMOVAL AND DISPOSAL OF FORMWORK AFTER CURING. BACKFILLING/COMPACTION AND FINAL GRADING OF ALL DISTURBED AREAS	1	SF	\$0.00	\$13.25	\$13.25	0% increase/savings
10) 6 INCH THICK REINFORCED CONCRETE FLAT PAVING AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, EXCAVATION, DISPOSAL OF SPOILS, REBAR, AND REMOVAL AND DISPOSAL OF FORMWORK AFTER CURING. BACKFILLING/COMPACTION AND FINAL GRADING OF ALL DISTURBED AREAS	1	SF	\$0.00	\$13.70	\$13.70	0% increase/savings
11) 8 INCH THICK REINFORCED CONCRETE FLAT PAVING AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, EXCAVATION, DISPOSAL OF SPOILS, REBAR, AND REMOVAL AND DISPOSAL OF FORMWORK AFTER CURING. BACKFILLING/COMPACTION AND FINAL GRADING OF ALL DISTURBED AREAS	1	SF	\$0.00	\$15.00	\$15.00	0% increase/savings
12) 6 INCH CONCRETE CURB AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, EXCAVATION, DISPOSAL OF SPOILS, REBAR, REMOVAL AND DISPOSAL OR FORMWORK AFTER CURING. BACKFILLING/COMPACTION, AND FINAL GRADING OF ALL DISTURBED AREAS	1	SF			\$25.00	new line item
13) 6 INCH THICK REINFORCED CONCRETE HEADER WALL PAVING AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, EXCAVATION, DISPOSAL OF SPOILS, REBAR, AND REMOVAL AND DISPOSAL OF FORMWORK AFTER CURING. BACKFILLING/COMPACTION AND FINAL GRADING OF ALL DISTURBED AREAS	1	SF	\$0.00	\$44.15	\$44.15	0% increase/savings
14) 8 INCH THICK REINFORCED CONCRETE HEADER WALL PAVING AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, EXCAVATION, DISPOSAL OF SPOILS, REBAR, AND REMOVAL AND DISPOSAL OF FORMWORK AFTER CURING. BACKFILLING/COMPACTION AND FINAL GRADING OF ALL DISTURBED AREAS	1	SF	\$0.00	\$46.00	\$46.00	0% increase/savings
15) 12 INCH THICK REINFORCED CONCRETE HEADER WALL PAVING AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, EXCAVATION, DISPOSAL OF SPOILS, REBAR, AND REMOVAL AND DISPOSAL OF FORMWORK AFTER CURING. BACKFILLING/COMPACTION, AND FINAL GRADING OF ALL DISTURBED AREAS	1	SF	\$0.00	\$47.75	\$47.75	0% increase/savings
16) 2x2 FOOT THICK REINFORCED CONCRETE FOOTER PAVING AS PER BDD4 DETAILS INCLUDING ALL DEWATERING, FORMWORK, CONCRETE, EXCAVATION, DISPOSAL OF SPOILS, REBAR, AND REMOVAL AND DISPOSAL OF FORMWORK AFTER CURING	1	LF	\$0.00	\$72.00	\$72.00	0% increase/savings
17) 3x2 FOOT THICK REINFORCED CONCRETE FOOTER PAVING AS PER BDD4 DETAILS INCLUDING ALL DEWTATERING, FORMWORK, CONCRETE, EXCAVATION, DISPOSAL OF SPOILS, REBAR, AND REMOVAL AND DISPOSAL OF FORMWORK AFTER CURING	1	LF	\$0.00	\$108.00	\$108.00	0% increase/savings
18) 4x2 FOOT THICK REINFORCED CONCRETE FOOTER PAVING AS PER BDD4 DETAILS INCLUDING ALL DEWATERING, FORMWORK, CONCRETE, EXCAVATION, DISPOSAL OF SPOILS, REBAR, AND REMOVAL AND DISPOSAL OF FORMWORK AFTER CURING	1	LF	\$0.00	\$144.00	\$144.00	0% increase/savings
19) HYDROMULCH SEEDING OF ALL DISTURBED AREAS TO RE-ESTABLISH GRASS COVER	1	AC	\$1,650.00	\$1,650.00	\$1,650.00	0% increase/savings

**BID COMPARISON FOR
20609 - CONCRETE PAVING SERVICES ANNUAL CONTRACT
FOR BRAZORIA DRAINAGE DISTRICT NO. 4**

ITEM			2018	2019	2020	COST COMPARISON
			JBRI	JBRI	JBRI	
			UNIT PRICE	UNIT PRICE	UNIT PRICE	2019 JBRI vs 2020 JBRI
20) STANDARD MINIMUM CHARGE FOR SEEDING OF ALL DISTURBED AREAS TO RE-ESTABLISH GRASS COVER FOR VERY SMALL APPLICATIONS	1	LS	\$875.00	\$875.00	\$875.00	0% increase/savings
21) CONCRETE DEMOLITION AND DISPOSAL OF EXISTING PAVING	1	CY	\$0.00	\$89.00	\$89.00	0% increase/savings
22) 8 INCH THICK CONCRETE JUNCTION BOX SLAB TOP AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, REBAR, CONCRETE, AND REMOVAL AND DISPOSAL OF FORMWORK AFTER CURING	1	LS			\$45.00	new line item
23) POUR IN PLACE CONNECTION COLLAR TO NEW 18 INCH PIPE AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, REBAR, AND REMOVAL AND DISPOSAL OF ALL FORMWORK AFTER CURING	1	LS			\$838.00	new line item
24) POUR IN PLACE CONNECTION COLLAR TO NEW 24 INCH PIPE AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, REBAR, AND REMOVAL AND DISPOSAL OF ALL FORMWORK AFTER CURING	1	LS			\$911.00	new line item
25) POUR IN PLACE CONNECTION COLLAR TO NEW 32 INCH PIPE AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, REBAR, AND REMOVAL AND DISPOSAL OF ALL FORMWORK AFTER CURING	1	LS			\$1,092.00	new line item
26) POUR IN PLACE CONNECTION COLLAR TO NEW 36 INCH PIPE AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, REBAR, AND REMOVAL AND DISPOSAL OF ALL FORMWORK AFTER CURING	1	LS			\$1,212.00	new line item
27) POUR IN PLACE CONNECTION COLLAR TO NEW 42 INCH PIPE AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, REBAR, AND REMOVAL AND DISPOSAL OF ALL FORMWORK AFTER CURING	1	LS			\$1,503.00	new line item
28) POUR IN PLACE CONNECTION COLLAR TO NEW 48 INCH PIPE AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, REBAR, AND REMOVAL AND DISPOSAL OF ALL FORMWORK AFTER CURING	1	LS			\$1,659.00	new line item
29) POUR IN PLACE CONNECTION COLLAR TO NEW 54 INCH PIPE AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, REBAR, AND REMOVAL AND DISPOSAL OF ALL FORMWORK AFTER CURING	1	LS			\$1,830.00	new line item
30) POUR IN PLACE CONNECTION COLLAR TO NEW 60 INCH PIPE AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, REBAR, AND REMOVAL AND DISPOSAL OF ALL FORMWORK AFTER CURING	1	LS			\$2,026.00	new line item
31) POUR IN PLACE CONNECTION COLLAR TO NEW 66 INCH PIPE AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, REBAR, AND REMOVAL AND DISPOSAL OF ALL FORMWORK AFTER CURING	1	LS			\$2,724.00	new line item
32) POUR IN PLACE CONNECTION COLLAR TO NEW 72 INCH PIPE AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, REBAR, AND REMOVAL AND DISPOSAL OF ALL FORMWORK AFTER CURING	1	LS			\$3,076.00	new line item
33) POUR IN PLACE CONNECTION COLLAR TO NEW 78 INCH PIPE AS PER BDD4 DETAILS INCLUDING ALL FORMWORK, CONCRETE, REBAR, AND REMOVAL AND DISPOSAL OF ALL FORMWORK AFTER CURING	1	LS			\$3,370.00	new line item

4813 W. Broadway
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Brazoria Drainage District No. 4

A Political Subdivision of the State of Texas

August 4, 2020

Board of Commissioners
Brazoria Drainage District No. 4
4813 W Broadway St.
Pearland, Texas 77581

Re: Bid #20610 – General Contract Services Annual Contract

Dear Commissioners,

A bid for the above-referenced project was received at a public bid opening at the District office on July 23, 2020. Two (2) sealed bids were opened and read aloud at 10:30 a.m.

The results of the bid opening are reported on the attached bid tabulation. No bid or math errors were found during this tabulation.

We recommend to offer the General Contract Services Annual Contract to JBRI Construction. The District has prior experience with this company and is familiar with their qualifications.

Thank you,

Leigh Blumer

Leigh Blumer
Assistant Superintendent

20610 - GENERAL CONTRACT SERVICES ANNUAL
CONTRACT
FOR BRAZORIA DRAINAGE DISTRICT NO. 4

		2018	2019	2020	2020	
		Lindsey Construction	JBRI	JBRI	Sterling Staffing Solutions	COST COMPARISON TO 2019
ITEM		UNIT PRICE	UNIT PRICE	UNIT PRICE	UNIT PRICE	2019 JBRI vs 2020 JBRI
FOR HOURLY CONTRACT SERVICES						
EQUIPMENT						
1) HYDRAULIC EXCAVATOR-49 METRIC TON	1 HR	\$150.00	\$145.00	\$145.00	\$0.00	0% increase/savings
2) HYDRAULIC EXCAVATOR-35 METRIC TON	1 HR	\$100.00	\$119.00	\$119.00	\$0.00	0% increase/savings
3) HYDRAULIC EXCAVATOR-25 METRIC TON	1 HR	\$66.00	\$65.00	\$65.00	\$0.00	0% increase/savings
4) DOZER-CRAWLER 75 HP - 105 HP	1 HR	\$68.00	\$62.00	\$62.00	\$0.00	0% increase/savings
5) DOZER-CRAWLER 106 HP - 140 HP	1 HR	\$100.00	\$99.00	\$99.00	\$0.00	0% increase/savings
6) DOZER CRAWLER 145 HP - 225 HP	1 HR	\$111.00	\$138.00	\$138.00	\$0.00	0% increase/savings
7) OFFROAD TRUCK 25 TON - 30 TON	1 HR	\$116.00	\$161.00	\$161.00	\$0.00	0% increase/savings
8) WHEEL LOADER 106 HP MINIMUM	1 HR	\$73.00	\$85.00	\$85.00	\$0.00	0% increase/savings
9) STREET SWEEPER	1 HR	\$30.00	\$27.00	\$27.00	\$0.00	0% increase/savings
FIELD PERSONNEL						
10) SITE SUPERINTENDENT –WITH TRUCK	1 HR	\$54.00	\$59.00	\$59.00	\$42.47 - \$64.84	0% increase/savings
11) EXCAVATOR OPERATOR	1 HR	\$38.00	\$38.00	\$38.00	\$24.03 - \$33.33	0% increase/savings
12) DOZER OPERATOR	1 HR	\$37.00	\$35.00	\$35.00	\$30.55 - \$40.30	0% increase/savings
13) LOADER OPERATOR	1 HR	\$35.00	\$30.00	\$30.00	\$23.25 - \$30.58	0% increase/savings
14) OFFROAD TRUCK DRIVER	1 HR	\$30.00	\$24.00	\$24.00	\$22.52 - \$39.29	0% increase/savings
15) COMMON LABORER	1 HR	\$27.00	\$20.00	\$20.00	\$20.15 - \$29.45	0% increase/savings

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Brazoria Drainage District No. 4

A Political Subdivision of the State of Texas

August 4, 2020

Board of Commissioners
Brazoria Drainage District No. 4
4813 W Broadway St.
Pearland, Texas 77581

Re: Bid #20611 – Hauling Services Annual Contract

Dear Commissioners,

A bid for the above-referenced project was received at a public bid opening at the District office on July 23, 2020. One (1) sealed bids was opened and read aloud at 11:00 a.m.

The results of the bid opening are reported on the attached bid tabulation. No bid or math errors were found during this tabulation.

We recommend to offer award of the Hauling Services Annual Contract to JBRI Construction. The District has prior experiences with this company and is familiar with their qualifications.

Thank you,

Leigh Blumer

Leigh Blumer
Assistant Superintendent

**BID COMPARISON FOR
20611 - HAULING SERVICES ANNUAL CONTRACT
FOR BRAZORIA DRAINAGE DISTRICT NO. 4**

ITEM		2018	2019	2020	COST COMPARISON
		Lindsey Construction	JBRI	JBRI	
		UNIT PRICE	UNIT PRICE	UNIT PRICE	
HAULING SERVICES					
1) 14YD TANDEM DUMP TRUCK WITH DRIVER	1 HR	\$65.00	\$69.00	\$67.00	3% savings
2) 14YD TANDEM DUMP TRUCK LOAD DELIVERED TO JOBSITE FROM 0 - 5 MILE RADIUS OF LOAD SITE	1 LD	\$70.00	\$64.00	\$68.00	6% increase
3) 14YD TANDEM DUMP TRUCK LOAD DELIVERED TO JOBSITE FROM 5.1 - 10 MILE RADIUS OF LOAD SITE	1 LD	\$88.00	\$95.00	\$92.00	3% savings
4) 14YD TANDEM DUMP TRUCK LOAD DELIVERED TO JOBSITE FROM 10.1 - 15 MILE RADIUS OF LOAD SITE	1 LD	\$120.00	\$130.00	\$125.00	4% savings
5) 14YD TANDEM DUMP TRUCK LOAD DELIVERED TO JOBSITE FROM 15.1 - 20 MILE RADIUS OF LOAD SITE	1 LD	\$0.00	\$166.00	\$162.00	2% savings
6) 14YD TANDEM DUMP TRUCK LOAD DELIVERED TO JOBSITE FROM 20.1 - 25 MILE RADIUS OF LOAD SITE	1 LD	\$0.00	\$206.00	\$198.00	4% savings

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Brazoria Drainage District No. 4

A Political Subdivision of the State of Texas

August 4, 2020

Board of Commissioners
Brazoria Drainage District No. 4
4813 W Broadway St.
Pearland, Texas 77581

Re: Bid #20612 – Reinforced Concrete Storm Sewer Box Culverts Annual Contract

Dear Commissioners,

A bid for the above-referenced project was received at a public bid opening at the District office on July 23, 2020. One (1) sealed bid was opened and read aloud at 11:30 a.m.

The results of the bid opening are reported on the attached bid tabulation. No bid or math errors were found during this tabulation.

We recommend to offer award of the Reinforced Concrete Storm Sewer Box Culverts Annual Contract to Rinker Materials. The District has prior experiences with this company and is familiar with their qualifications.

Thank you,

Leigh Blumer

Leigh Blumer
Assistant Superintendent

**BID COMPARISON FOR
20612 - REINFORCED CONCRETE STORM SEWER BOX
CULVERTS ANNUAL CONTRACT
FOR BRAZORIA DRAINAGE DISTRICT NO. 4**

		2018	2019	2020	
ITEM		Rinker Materials	Rinker Materials	Rinker Materials	COST COMPARISON
					2019 Rinker vs 2020 Rinker
		UNIT PRICE	UNIT PRICE	UNIT PRICE	
1.0 CULVERT, BOX, CONCRETE, REINFORCED					
1) 3' x 2' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$126.00	\$158.00	\$167.00	5% increase
2) 3' x 3' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$140.00	\$176.00	\$184.00	4% increase
3) 4' x 2' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$137.00	\$172.00	\$180.00	4% increase
4) 4' x 3' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$158.00	\$198.00	\$207.00	4% increase
5) 4' x 4' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$175.00	\$221.00	\$231.00	4% increase
6) 5' x 2' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$189.00	\$238.00	\$248.00	4% increase
7) 5' x 3' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$196.00	\$247.00	\$259.00	5% increase
8) 5' x 4' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$217.00	\$273.00	\$287.00	5% increase
9) 5' x 5' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$235.00	\$295.00	\$308.00	4% increase
10) 6' x 2' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$217.00	\$273.00	\$287.00	5% increase
11) 6' x 3' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$245.00	\$309.00	\$325.00	5% increase
12) 6' x 4' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$270.00	\$339.00	\$357.00	5% increase
13) 6' x 5' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$291.00	\$366.00	\$385.00	5% increase
14) 6' x 6' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$315.00	\$397.00	\$420.00	5% increase
15) 7' x 2' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$280.00	\$352.00	\$371.00	5% increase
16) 7' x 3' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$301.00	\$379.00	\$399.00	5% increase
17) 7' x 4' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$333.00	\$419.00	\$441.00	5% increase
18) 7' x 5' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$354.00	\$445.00	\$469.00	5% increase
19) 7' x 6' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$382.00	\$480.00	\$500.00	4% increase
20) 7' x 7' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$406.00	\$511.00	\$539.00	5% increase
21) 8' x 2' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$322.00	\$406.00	\$427.00	5% increase
22) 8' x 3' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$343.00	\$432.00	\$451.00	4% increase
23) 8' x 4' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$364.00	\$458.00	\$479.00	4% increase
24) 8' x 5' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$385.00	\$485.00	\$511.00	5% increase
25) 8' x 6' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$420.00	\$529.00	\$553.00	4% increase
26) 8' x 7' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$448.00	\$564.00	\$595.00	5% increase
27) 8' x 8' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$476.00	\$599.00	\$630.00	5% increase
28) 9' x 3' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$410.00	\$515.00	\$539.00	4% increase
29) 9' x 4' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$445.00	\$560.00	\$584.00	4% increase
30) 9' x 5' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$469.00	\$591.00	\$619.00	5% increase
31) 9' x 6' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$490.00	\$617.00	\$647.00	5% increase
32) 9' x 7' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$522.00	\$656.00	\$686.00	4% increase
33) 9' x 8' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$550.00	\$692.00	\$717.00	3% increase
34) 9' x 9' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$581.00	\$732.00	\$770.00	5% increase
35) 10' x 3' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$490.00	\$617.00	\$640.00	4% increase
36) 10' x 4' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$525.00	\$662.00	\$693.00	4% increase
37) 10' x 5' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$557.00	\$701.00	\$735.00	5% increase
38) 10' x 6' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$588.00	\$740.00	\$770.00	4% increase
39) 10' x 7' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$620.00	\$780.00	\$819.00	5% increase
40) 10' x 8' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$651.00	\$820.00	\$861.00	5% increase
41) 10' x 9' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$679.00	\$856.00	\$899.00	5% increase
42) 10' x 10' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$714.00	\$899.00	\$934.00	4% increase
43) 11' x 3' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$574.00	\$723.00	\$759.00	5% increase
44) 11' x 4' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$595.00	\$750.00	\$787.00	5% increase
45) 11' x 5' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$630.00	\$793.00	\$833.00	5% increase
46) 11' x 6' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$665.00	\$838.00	\$882.00	5% increase
47) 11' x 7' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$725.00	\$912.00	\$958.00	5% increase
48) 11' x 8' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$735.00	\$926.00	\$973.00	5% increase
49) 11' x 9' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$770.00	\$970.00	\$1,015.00	4% increase
50) 11' x 10' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$805.00	\$1,015.00	\$1,060.00	4% increase
51) 11' x 11' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$840.00	\$1,058.00	\$1,109.00	5% increase
52) 12' x 3' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$665.00	\$838.00	\$800.00	5% savings
53) 12' x 4' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$700.00	\$882.00	\$927.00	5% increase
54) 12' x 5' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$735.00	\$926.00	\$973.00	5% increase
55) 12' x 6' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$770.00	\$970.00	\$1,015.00	4% increase
56) 12' x 7' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$805.00	\$1,015.00	\$1,064.00	5% increase
57) 12' x 8' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$840.00	\$1,058.00	\$1,111.00	5% increase
58) 12' x 9' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$875.00	\$1,103.00	\$1,162.00	5% increase
59) 12' x 10' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$910.00	\$1,146.00	\$1,204.00	5% increase
60) 12' x 11' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$945.00	\$1,191.00	\$1,250.00	5% increase
61) 12' x 12' REINFORCED CONCRETE STORM SEWER BOX CULVERT	1 LF	\$980.00	\$1,234.00	\$1,295.00	5% increase

4813 W. Broadway
Pearland, Texas 77581
(281) 485-1434



Fax (281) 485-0065
www.bdd4.org

Brazoria Drainage District No. 4

A Political Subdivision of the State of Texas

August 4, 2020

Board of Commissioners
Brazoria Drainage District No. 4
4813 W Broadway St.
Pearland, Texas 77581

Re: Bid #20613 – High Density Polypropylene Storm Sewer Pipe Annual Contract

Dear Commissioners,

A bid for the above-referenced project was received at a public bid opening at the District office on July 23, 2020. Three (3) sealed bid were opened and read aloud at 12:00 p.m.

The results of the bid opening are reported on the attached bid tabulation. No bid or math errors were found during this tabulation.

We recommend to offer award of the High-Density Polypropylene Storm Sewer Pipe Annual Contract to Fortiline Water Works based on best available price.

Thank you,

Leigh Blumer

Leigh Blumer
Assistant Superintendent

**BID COMPARISON FOR
20613 - HIGH DENSITY POLYPROPYLENE STORM SEWER
PIPE ANNUAL CONTRACT
FOR BRAZORIA DRAINAGE DISTRICT NO. 4**

		2018	2019	2020	2020	2020	
ITEM		O'Day	O'Day	O'Day	Fortiline WW	Ferguson	COST COMPARISON
		UNIT PRICE	UNIT PRICE	UNIT PRICE	UNIT PRICE	UNIT PRICE	2019 O'Day vs 2020 Fortiline
STORM SEWER PIPE							
1) 12' HIGH DENSITY POLYPROPYLENE STORM SEWER PIPE	1 LF	\$6.15	\$6.50	\$6.43	\$5.80	\$6.09	12% savings
2) 15' HIGH DENSITY POLYPROPYLENE STORM SEWER PIPE	1 LF	\$8.85	\$9.35	\$9.21	\$8.30	\$8.73	13% savings
3) 18' HIGH DENSITY POLYPROPYLENE STORM SEWER PIPE	1 LF	\$11.75	\$12.45	\$12.19	\$10.99	\$11.56	13% savings
4) 24' HIGH DENSITY POLYPROPYLENE STORM SEWER PIPE	1 LF	\$18.95	\$19.65	\$19.46	\$17.86	\$18.79	10% savings
5) 30' HIGH DENSITY POLYPROPYLENE STORM SEWER PIPE	1 LF	\$29.65	\$30.35	\$30.21	\$27.98	\$29.44	8% savings
6) 36' HIGH DENSITY POLYPROPYLENE STORM SEWER PIPE	1 LF	\$34.50	\$33.35	\$33.16	\$30.71	\$32.32	9% savings
7) 42' HIGH DENSITY POLYPROPYLENE STORM SEWER PIPE	1 LF	\$42.50	\$43.25	\$43.02	\$40.21	\$42.32	8% savings
8) 48' HIGH DENSITY POLYPROPYLENE STORM SEWER PIPE	1 LF	\$56.50	\$56.65	\$56.70	\$53.00	\$55.78	7% savings
9) 60' HIGH DENSITY POLYPROPYLENE STORM SEWER PIPE	1 LF	\$78.00	\$78.55	\$78.50	\$74.06	\$77.95	6% savings

4813 W. Broadway
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Brazoria Drainage District No. 4

A Political Subdivision of the State of Texas

August 4, 2020

Board of Commissioners
Brazoria Drainage District No. 4
4813 W Broadway St.
Pearland, Texas 77581

Re: Bid #20614 – Hydromulch Materials Annual Contract

Dear Commissioners,

A bid for the above-referenced project was received at a public bid opening at the District office on July 23, 2020. Two (2) sealed bid was opened and read aloud at 12:30 p.m.

The results of the bid opening are reported on the attached bid tabulation. No bid or math errors were found during this tabulation.

We recommend to offer award of the Hydromulch Materials Annual Contract to Hanes Companies. The District has prior experiences with this company and is familiar with their qualifications.

Thank you,

Leigh Blumer

Leigh Blumer
Assistant Superintendent

**BID COMPARISON FOR
20614 - HYDROMULCH MATERIALS ANNUAL CONTRACT
FOR BRAZORIA DRAINAGE DISTRICT NO. 4**

ITEM		2019	2020	2020	COST COMPARISON TO 2019
		Hanes Companies	Hanes Companies	SiteOne Landscape	2019 Hanes vs 2020 Hanes
		UNIT PRICE	UNIT PRICE	UNIT PRICE	
MATERIALS					
1) HYDROMULCH EARTHGUARD FIBER MATRIX 50# BAG	1 EA	\$36.00	\$36.00	\$36.84	0% increase/savings
2) HYDROMULCH EARTHGUARD ORGANIX 50# BAG	1 EA	\$32.00	\$32.00	no bid	0% increase/savings
3) OASIS TACKIFIER OR EQUIVALENT 5 GALLON PAIL	1 EA	\$95.00	\$95.00	non-comparable	0% increase/savings

May 26, 2020

Board of Commissioners
c/o Adrian Gengo
Brazoria Drainage District No. 4
4813 West Broadway
Pearland, Texas 77581
cc: agengo@bdd4.org



RE: Segenhof
Variance Request
BDD 4 Ref ID#: 20145
LE-20004

Dear Commissioners:

We are in receipt of the attached request for variance from Kristofer Schoeffler.

The variance cites the District's requirement for the dedication of a 170 foot total width drainage easement for Hickory Slough. Due to the Slough's location along the West side of Roy Road, the Applicant would have to dedicate the 170 foot drainage easement in it's entirety.

The Applicant is seeking approval from the Board reducing the requirement to a 30 foot drainage easement as measured from the centerline of the creek and an additional (adjacent) 20 foot access easement.

The Applicant states his hardship(s) in detail in the attached request for variance.

District staff and I have researched this issue, visited the site, and met with Mr. Schoeffler in person.

Based upon our findings and discussions with District personnel, we would support a Board decision to reduce the required drainage easement width from 170 feet in total width to a 85 foot drainage easement as measured from the existing centerline of Hickory Slough.

Sincerely,
Lentz Engineering, LLC

Jarrold D. Aden, P.E.
President

cc: Mr. John Genaro
Mr. Leigh Blumer
Ms. Sarah Roeber
Mr. Clint Goebel
Mr. Dillon Wilburn
Mr. Tom Daniel

May 21, 2020

Jarrold -

Thank you again for spending time with me on Tuesday. I appreciate the questions you answered and the offer that was made by DD4 staff with your support.

I have formulated my variance request and it is as follows:

Whereas, I am being required to re-plat property that has been a homestead of my family since 1976 because I wish to replace the existing home with a new home; and,

Whereas, the City of Pearland has declined to recognize my existing plat because we were annexed into the city limits in 1997 and the existing plat predates that annexation; and,

Whereas, I have been informed by DD4 staff that the current statutes require that I cede a 170' easement along Hickory Slough to DD4 that should be in addition to the 40' ROW dedication required by the City of Pearland; and,

Whereas, DD4 staff has offered to support a reduction of the easement requirement to be 85' total width measured from the center of the stream; and,

Whereas, the current bed of Hickory Slough lies completely upon my property and extends west from the center of the stream approximately 30' at its widest; and,

Whereas, to my knowledge, DD4 does not have contiguous easement and cannot likely gain contiguous easement to the south of my property along the same waterway; and,

Whereas, my neighbors, the Post family, were not required to dedicate easement to DD4 for the same purpose despite the same statutes being in effect and thus now have a new home within the 85' proposed easement; and,

Whereas, permanent structures that are still in use on my property are located within the 85' proposed easement and there is no established time-frame to remove those structures; and,

Whereas, DD4 has plans and is actively pursuing funding to divert water away from the portion of Hickory Slough that currently lies upon my property; and,

Whereas, Hickory Slough has remained unchanged for decades and has functioned as such; and,

Whereas, due to encumbrances placed upon my property by the City of Pearland and DD4, more than 30% of my acreage will be unsuitable for improvement and use as I see fit; and,

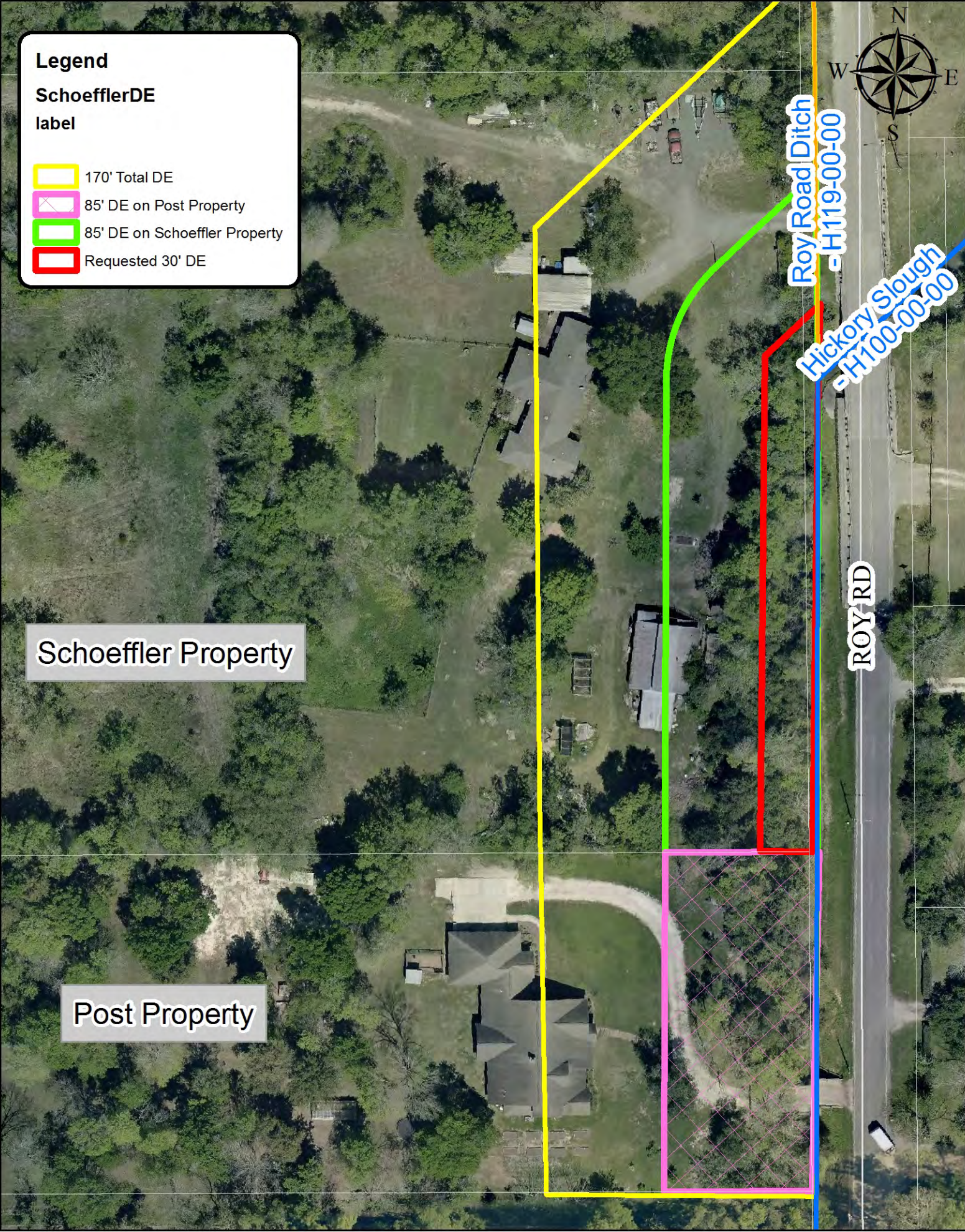
Whereas, this amounts to an unreasonable and unfair requirement to be placed upon a single home-owner, especially given the heirloom status of the property in question;

Therefore, I request that DD4 accept an easement of 30' measured from the center of the stream and an additional 20' access easement onto the property for bank maintenance.

Please let me know if this will suffice or if you have any questions. Thank you again.

Kris Schoeffler

Deus caritas est.



Legend

SchoefflerDE
label

- 170' Total DE
- 85' DE on Post Property
- 85' DE on Schoeffler Property
- Requested 30' DE

Schoeffler Property

Post Property

Roy Road Ditch
-H119-00-00
Hickory Slough
-H100-00-00

ROY RD

July 21, 2020

Board of Commissioners
c/o Adrian Gengo
Brazoria Drainage District No. 4
4813 West Broadway
Pearland, Texas 77581
cc: agengo@bdd4.org



RE: Rodeo Palms The Lakes Section 3
Variance Request
BDD 4 Ref ID#: 20172
LE-20004

Dear Commissioners:

We are in receipt of the attached request for variance from Jared Bowlin of EHRA.

The variance cites the District's requirement for a 30' maintenance berm for ponds that are adjacent to a road right of way. The applicant is requesting a reduction from 30 feet to 10 feet. In their request, the applicant cites hardship of the basis that their overall development plan was approved by former District personnel.

The following additional information may be useful in determining whether or not this request should be granted:

1. There is less than 100 feet of frontage against the right of way.
2. The vast majority of the detention will have wider berms.
3. This proposal is consistent with what has been previously constructed within Rodeo Palms. We are not aware of any maintenance issues with these existing basins.
4. The District will never own or maintain these facilities.

Based upon these findings and the applicant's hardship, we would support a Board decision to grant this variance request.

Sincerely,
Lentz Engineering, LLC

A handwritten signature in blue ink, appearing to read "Jarrod D. Aden", is placed over a light blue rectangular background.

Jarrod D. Aden, P.E.
President

cc: Mr. John Genaro
Mr. Leigh Blumer
Ms. Sarah Roeber
Mr. Tom Daniel



Brazoria Drainage District No. 4

A Political Subdivision of the State of Texas

Variance Request Form

Pecuniary hardship to the developer, standing alone, shall not be deemed to constitute undue hardship. The variance shall not have the effect of nullifying the intent and purpose of the Rules, Regulations & Guidelines.

Applicant Name: Jared Bowlin

Applicant Phone Number: 713-784-4500

Project Name: Rodeo Palms, The Lakes Section 3

Project Number: 20172

The specific rule or requirement that the Applicant wants to deviate from:

When a detention facility is constructed adjacent to a street right-of-way or DISTRICT channel, a minimum 30 foot maintenance berm is required. This does not include the required channel maintenance berm of the DISTRICT channel or the distance from the street right-of-way line to the curb. Callout / show these locations on the plans. [Appendix A.3.4.1.c, page 61]

The hardship created by the rule or requirement:

The current land plan for Rodeo Palms, The Lakes Section 3 has been established for many years and it is designed to effectively coincide with existing sections, detention facilities, & utilities surrounding it. Multiple detention ponds, maintained by BCMUD 29, do not have the 30' minimum requirement, per the Master Plan.

The deviation that is requested:

A maintenance berm adjacent to a street right of way to 10'. The detention facility will be owned and maintained by BCMUD 29. Several existing maintenance berms withing BCMUD 29 are less than 30' wide.

Authorized Agent Signature:  Date: 7-17-2020

GCWA Canal Seep
Ditch - E102-01-01

New Hope Church
Ditch - E102-01-00

Rodeo Palms Ditch
- E102-00-00

State Ditch - E102-05-00

July 24, 2020

Board of Commissioners
c/o Adrian Gengo
Brazoria Drainage District No. 4
4813 West Broadway
Pearland, Texas 77581
cc: agengo@bdd4.org



RE: C-Store – JT Plaza III
Variance Request
BDD 4 Ref ID#: 19198
LE-20004

Dear Commissioners:

We are in receipt of the attached request for variance from Hasmukh Doshi of Doshi Engineering & Surveying.

The variance cites the District's requirement for a 15' maintenance berm for ponds that are between 2 and 5 feet in depth. The applicant is requesting a reduction from 15 feet to 10 feet. In their request, the applicant cites hardship of the basis that their space is severely limited due to shallow adjacent ditches and the requirements for on site septic system.

The following additional information may be useful in determining whether or not this request should be granted:

1. The nominal depth of this pond is 2 feet. If the pond were just slightly shallower, the District's criteria would allow 10 foot berms.
2. A considerable portion of the 10 foot berms are adjacent to paving areas which essentially serve as an extension of useable maintenance area.
3. The Applicant has added a concrete ramp with 8:1 slope which would allow equipment to access the pond bottom and conduct maintenance from within the basin.
4. The District will never own or maintain this pond.

Based upon these findings and the applicant's hardship, we would support a Board decision to grant this variance request.

Sincerely,
Lentz Engineering, LLC



Jarrod D. Aden, P.E.
President

cc: Mr. John Genaro
Mr. Leigh Blumer
Ms. Sarah Roeber
Mr. Tom Daniel



Brazoria Drainage District No. 4

A Political Subdivision of the State of Texas

Variance Request Form

Pecuniary hardship to the developer, standing alone, shall not be deemed to constitute undue hardship. The variance shall not have the effect of nullifying the intent and purpose of the Rules, Regulations & Guidelines.

Applicant Name: Hasmukh H. Doshi P.E., RPLS, DOSHI ENGINEERING & SURVEYING COM

Applicant Phone Number: 832-868-9906

Project Name: C-Store Drainage Plan

Project Number: BDD4 #19198

The specific rule or requirement that the Applicant wants to deviate from:

3.4. Structural and Geometry 3.4.1 General (b) Minimum Maintenance Berms

The hardship created by the rule or requirement:

The proposed maintenance berms are 10 feet where 15 feet is required for ponds between 2 feet and 5 feet of depth. The proposed detention pond's nominal depth is 2-feet.

We are submitting a variance request form in accordance with Section 12 of the Guidelines. To meet the minimum maintenance berm width requirements, additional area is required on the north and south sides of the pond. This option is not feasible for this project because of inadequate open land. In the absence of public sanitary sewer system at the property, we are required to provide an on-site septic/drip system, which occupies a significant portion of the available open land. In addition, the existing roadside drainage ditches are not deep enough to design a deeper detention pond. The current depth of the detention pond has been designed based on this requirement.

However, the revised design provides the 30-foot maintenance berm on the east and west sides.

The deviation that is requested:

Approve the proposed design of a 10-foot wide berms as shown in the Final Drainage Plan as an alternative to the 15-foot wide berms for ponds between 2 feet and 5 feet deep.

July 24, 2020

Board of Commissioners
c/o Adrian Gengo
Brazoria Drainage District No. 4
4813 West Broadway
Pearland, Texas 77581
cc: agengo@bdd4.org



RE: C-Store – JT Plaza III
Variance Request
BDD 4 Ref ID#: 19198
LE-20004

Dear Commissioners:

We are in receipt of the attached request for variance from Hasmukh Doshi of Doshi Engineering & Surveying.

The variance cites the District's requirement for 4:1 side slopes on detention ponds. The applicant is requesting permission to use vertical walls. In their request, the applicant cites hardship of the basis that their space is severely limited due to shallow adjacent ditches and the requirements for on site septic system.

The following additional information may be useful in determining whether or not this request should be granted:

1. The Applicant has added a concrete ramp with 8:1 slope which would allow equipment to access the pond bottom and conduct maintenance from within the basin.
2. The District will never own or maintain this pond.

Based upon these findings and the applicant's hardship, we would support a Board decision to grant this variance request.

Sincerely,
Lentz Engineering, LLC

Jarrod D. Aden, P.E.
President

cc: Mr. John Genaro
Mr. Leigh Blumer
Ms. Sarah Roeber
Mr. Tom Daniel



Brazoria Drainage District No. 4

A Political Subdivision of the State of Texas

Variance Request Form

Pecuniary hardship to the developer, standing alone, shall not be deemed to constitute undue hardship. The variance shall not have the effect of nullifying the intent and purpose of the Rules, Regulations & Guidelines.

Applicant Name: **Hasmukh H. Doshi P.E., RPLS, DOSHI ENGINEERING & SURVEYING COM**

Applicant Phone Number: **832-868-9906**

Project Name: **C-Store Drainage Plan**

Project Number: **BDD4 #19198**

The specific rule or requirement that the Applicant wants to deviate from:

Detention pond side slopes shall be 4:1 or flatter. [Appendix A.3.4.1.a, page 61]

The hardship created by the rule or requirement:

To meet the detention pond slope requirements, additional area is required on all sides of the pond. This option is not feasible for this project because of inadequate open land. In the absence of public sanitary sewer system at the property, we are required to provide an on-site septic/drip system, which occupies a significant portion of the available open land.

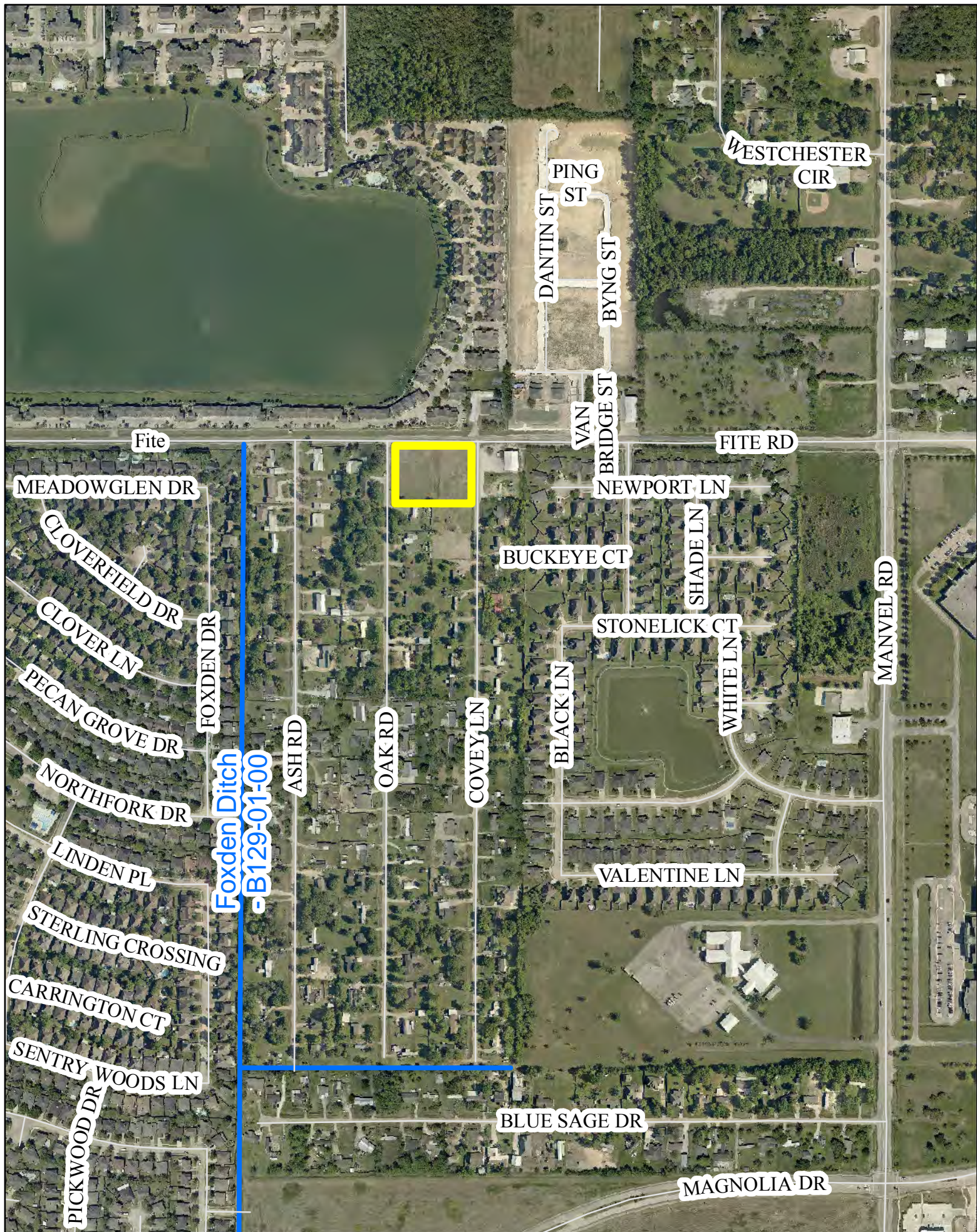
The existing roadside drainage ditches are not deep enough to design a deeper detention pond. The current depth of the detention pond has been designed based on this requirement.

Therefore, the 4:1 side slope requirement with the current detention pond depth, will provide less detention capacity than required (for a 100-year storm event). With the proposed vertical wall, the design will not only provide the required detention capacity but also will allow the construction of the maintenance berm around the pond, and the outfall for the extreme event.

In addition, our revised plan shows that concrete lined overflow swale has been extended into the pond at 8 to 1 slope to provide safe access to the equipment for pond maintenance activities.

The deviation that is requested:

Allow design and construction of a vertical wall as shown in the Final Drainage Plan as an alternative to the detention pond with side slopes of 4:1 or greater.



July 24, 2020

Board of Commissioners
c/o Adrian Gengo
Brazoria Drainage District No. 4
4813 West Broadway
Pearland, Texas 77581
cc: agengo@bdd4.org



RE: Harvest Acres RV Park
Variance Request
BDD 4 Ref ID#: 20177
LE-20004

Dear Commissioners:

We are in receipt of the attached request for variance from Kyle Urbanec.

The variance cites the District's requirement for the outfall to be placed one foot above the static water elevation and the flowline of the existing ditch. The applicant is requesting a reduction of the 12 inch requirement to 6 inches. In their request, the applicant cites hardship of the basis that they will be unable to achieve the required detention volume due to a shallow roadside ditch.

The following additional information may be useful in determining whether or not this request should be granted:

1. The District will not own or maintain this pond.

Based upon these findings and the applicant's hardship, we would support a Board decision to grant this variance request.

Sincerely,
Lentz Engineering, LLC

A handwritten signature in blue ink, appearing to read "Jarrod D. Aden", is written over a light blue circular background.

Jarrod D. Aden, P.E.
President

cc: Mr. John Genaro
Mr. Leigh Blumer
Ms. Sarah Roeber
Mr. Tom Daniel



Brazoria Drainage District No. 4

A Political Subdivision of the State of Texas

Variance Request Form

Pecuniary hardship to the developer, standing alone, shall not be deemed to constitute undue hardship. The variance shall not have the effect of nullifying the intent and purpose of the Rules, Regulations & Guidelines.

Applicant Name: Kyle Urbanec

Applicant Phone Number: 8315517042

Project Name: Harvest Acres RV Park

Project Number: 20177

The specific rule or requirement that the Applicant wants to deviate from:

The Standard DISTRICT Details require the downstream end of the outfall pipe to be one foot higher than the existing flowline of the ditch and one foot higher than the static water level.

The hardship created by the rule or requirement:

The proposed development fronts a roadside ditch which is fairly shallow. As a result, there is a hardship created by the vertical constraints of the site. This is the reason that we are requesting permission to provide a lower elevation of the outfall pipe. We will design the outfall pipe and adjacent concrete paving in a manner that maintains consistency with the Standard DISTRICT Details.

The deviation that is requested:

We proposed to deviate by providing an outfall pipe with a downstream end six (6) inches higher than the existing flowline of the ditch and one foot higher than the static water level.

Authorized Agent Signature: _____

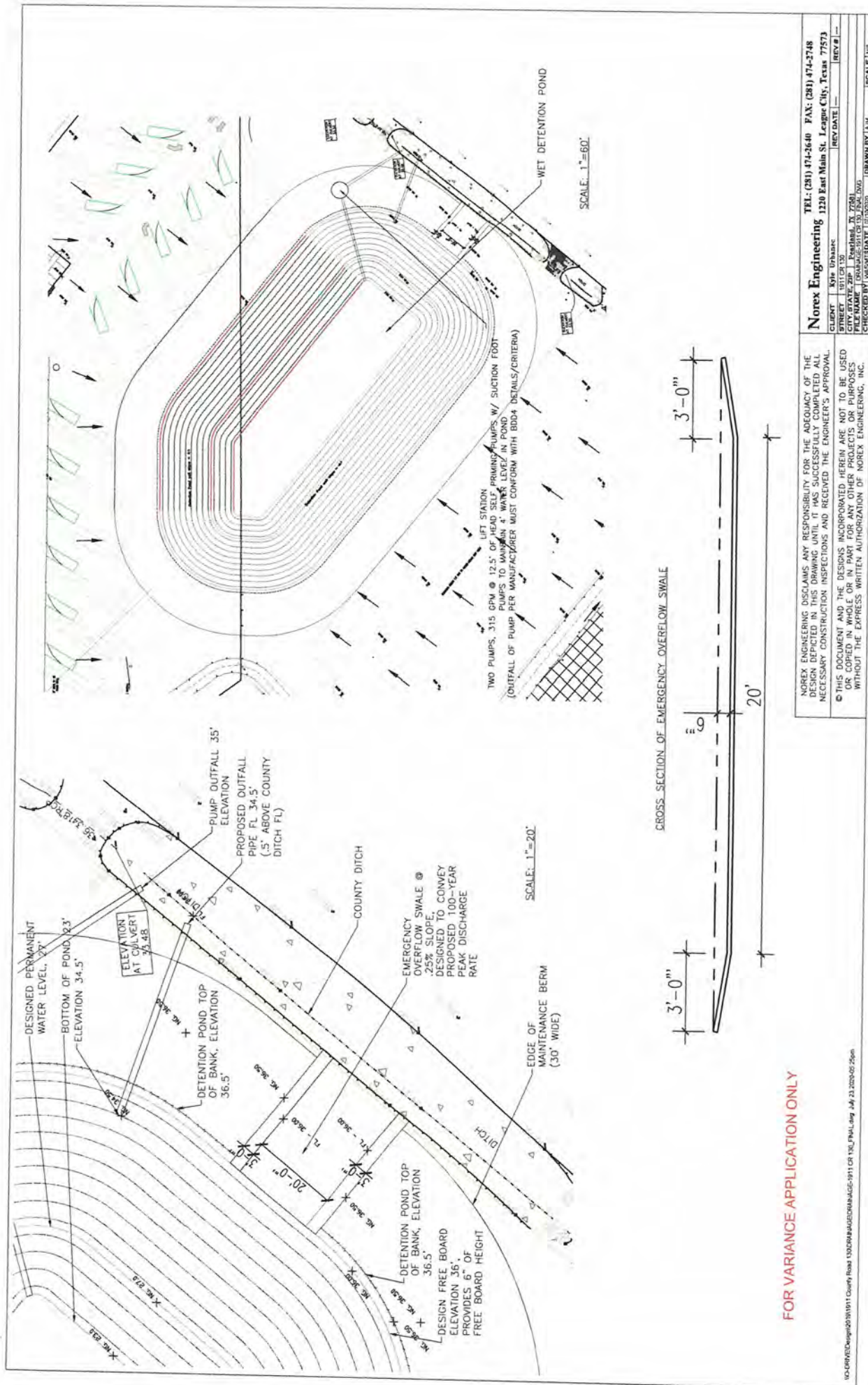
Date: 7-23-20

Dan Keller
Commissioner

Jeffrey Brennan
Commissioner

Harrison Rogers
Commissioner

V.I.D.



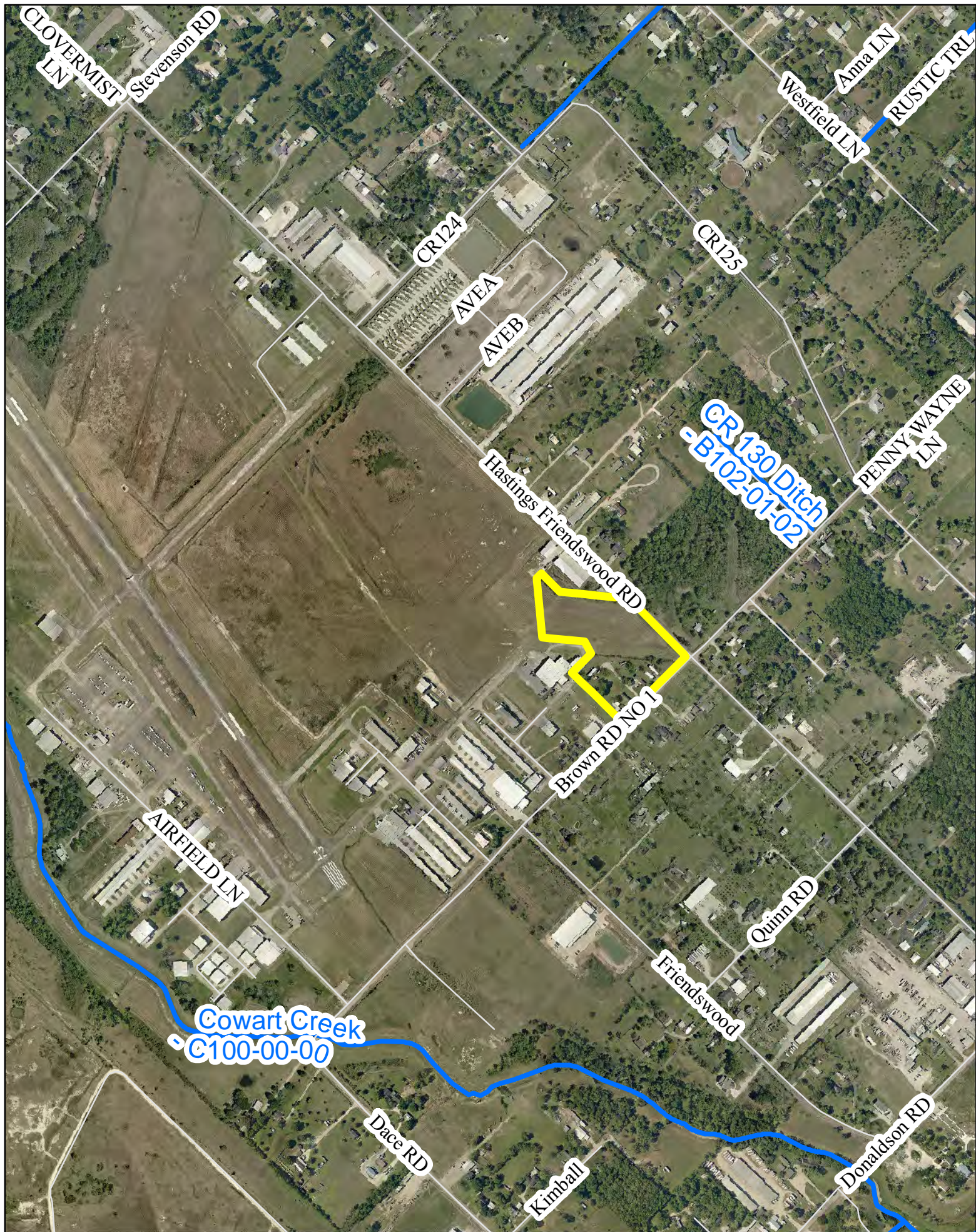
Norex Engineering		TEL: (281) 474-3640 FAX: (281) 474-3748	
CLIENT: KPM URBAN		1220 East Main St. League City, Texas 77573	
PROJECT: 1501		REV# 1	
FILE NAME: 1501.DWG		REV# 2	
CHECKED BY: MMS/DATE: 1/1/2000		DRAWN BY: J.M. SCALE: N/A	

NOREX ENGINEERING DISCLAIMS ANY RESPONSIBILITY FOR THE ADEQUACY OF THE DESIGN DEPICTED IN THIS DRAWING UNTIL IT HAS SUCCESSFULLY COMPLETED NECESSARY CONSTRUCTION INSPECTIONS AND RECEIVED THE ENGINEER'S APPROVAL.

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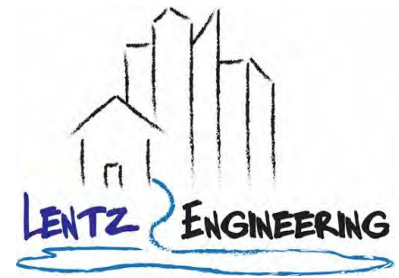
FOR VARIANCE APPLICATION ONLY

\\G:\P\20\Design\1501\1501 County Road 1332\DWG\1501\1501_Plan.dwg July 23, 2024 02:25pm



July 10, 2020

Board of Commissioners
Brazoria Drainage District No. 4
4813 W. Broadway
Pearland, Texas 77581
via email: agengo@bdd4.org



Engineering Your Satisfaction

RE: 6610 Bailey Road
FINAL Drainage Plan (2)
BDD 4 Ref ID#: 20154
LE-20004

Dear Commissioners:

We have reviewed the Final Drainage Plan as submitted for the above-mentioned project and offer the following comments:

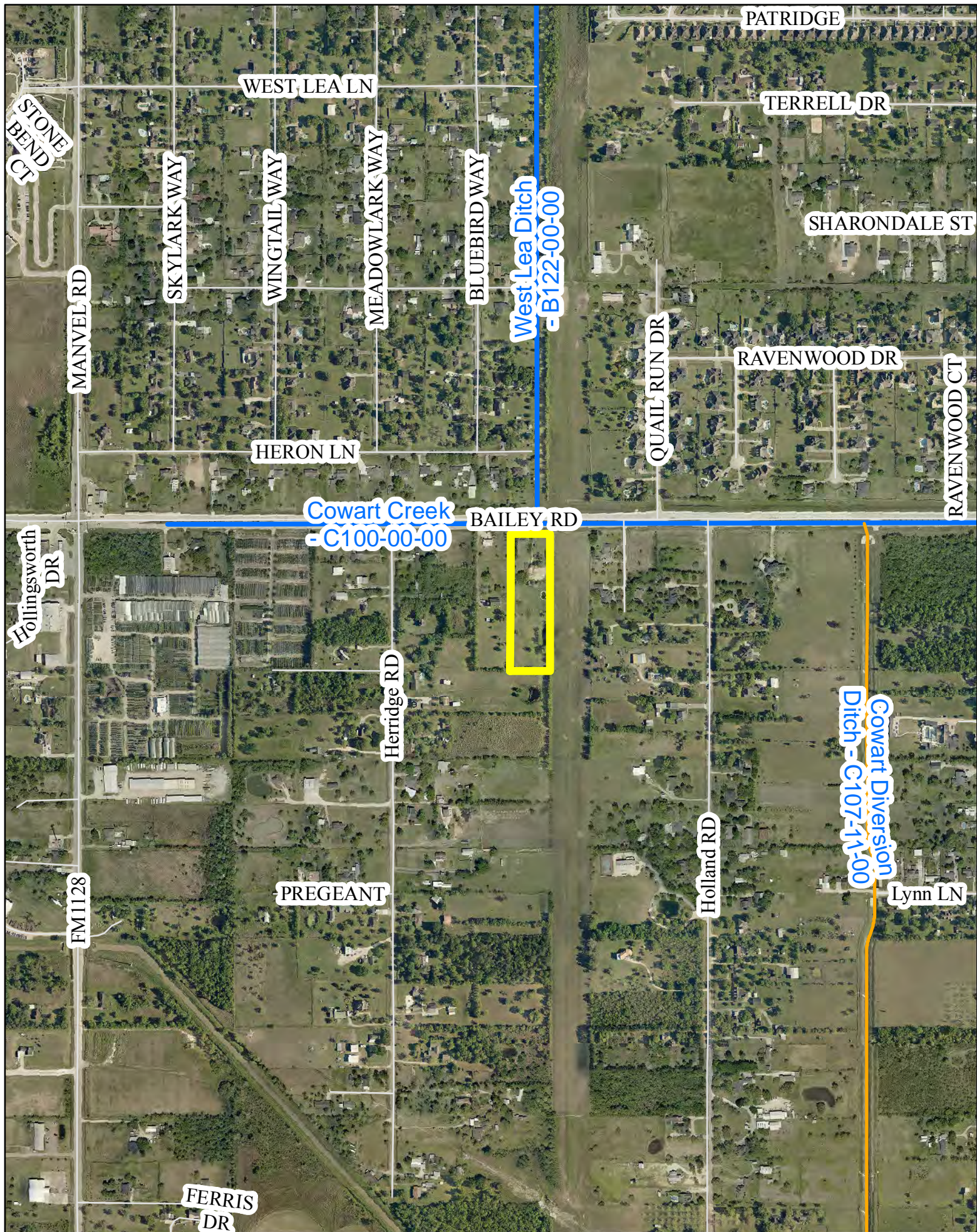
1. This Drainage Plan is for a proposed single family residence located on the South side of Bailey Road (CR-101) between Herridge (CR-827) and Holland (CR-831).
2. Sheet 1 of the Drainage Plan shows that 5,715 cubic feet of detention will be provided for 8,792 square feet of new impervious cover. The detention rate provided is 0.65 acre-feet / acre.
3. BDD4 Special Notes are included on the plans.
4. We find the Drainage Plan to be in accordance with the Rules, Regulations and Guidelines effective May 1, 2013.

We support a decision by the Board to approve this drainage plan.

Sincerely
Lentz Engineering, LLC

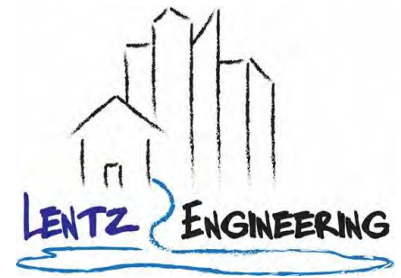
Jarrod D. Aden, P.E.
President

cc: Mr. John Genaro
Mr. Leigh Blumer
Ms. Sarah Roeber
Mr. Clint Goebel
Mr. Dillon Wilburn
Mr. Tom Daniel



July 17, 2020

Board of Commissioners
Brazoria Drainage District No. 4
4813 W. Broadway
Pearland, Texas 77581
via email: agengo@bdd4.org



Engineering Your Satisfaction

RE: Del Bello Lakes Rec Center
FINAL Drainage Plan (1)
BDD 4 Ref ID#: 20174
LE-20004

Dear Commissioners:

We have reviewed the Final Drainage Plan as submitted for the above-mentioned project and offer the following comments:

1. This Drainage Plan is for a proposed community recreation center in the Del Bello Subdivision located on the East side of SH-288 and South side of Del Bello Boulevard.
2. Sheet C2.2 of the Drainage Plan shows that the detention is provided for Section One of the development. 14.18 ac-ft of detention is provided for 21.82 acres in Section One. The detention rate provided is 0.65 acre-feet / acre.
3. BDD4 Special Notes are included on the plans.
4. We find the Drainage Plan to be in accordance with the Rules, Regulations and Guidelines effective May 1, 2013.

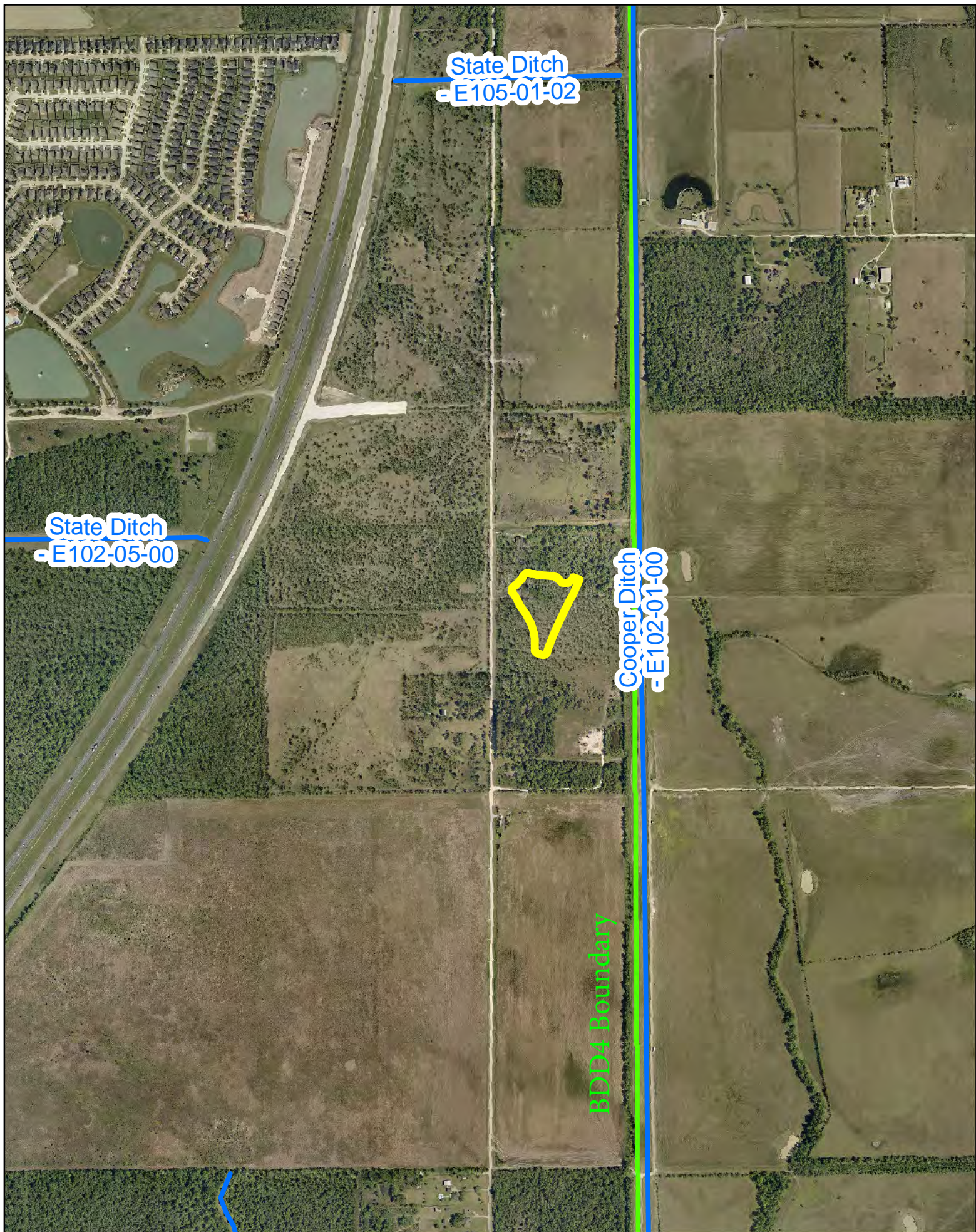
We support a decision by the Board to approve this drainage plan.

Sincerely
Lentz Engineering, LLC

A handwritten signature in blue ink, appearing to read "Jarrod D. Aden", is written over a light blue circular stamp.

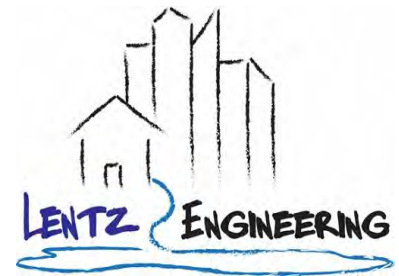
Jarrod D. Aden, P.E.
President

cc: Mr. John Genaro
Mr. Leigh Blumer
Ms. Sarah Roeber
Mr. Tom Daniel



July 17, 2020

Board of Commissioners
Brazoria Drainage District No. 4
4813 W. Broadway
Pearland, Texas 77581
via email: agengo@bdd4.org



Engineering Your Satisfaction

RE: Savannah Parkway Phase III
FINAL Drainage Plan (2)
BDD 4 Ref ID#: 20175
LE-20004

Dear Commissioners:

We have reviewed the Final Drainage Plan as submitted for the above-mentioned project and offer the following comments:

1. This Drainage Plan is for a proposed roadway expansion within the Savannah development.
2. Sheet 5 of the Drainage Plan shows that the Lake NW5 detention will provide 13.89 acre-feet of detention mitigation for the 15.61 acres of development. The detention rate provided is 0.89 acre-feet / acre.
3. BDD4 Special Notes are included on the plans.
4. We find the Drainage Plan to be in accordance with the Rules, Regulations and Guidelines effective May 1, 2013.

We support a decision by the Board to approve this drainage plan.

Sincerely
Lentz Engineering, LLC

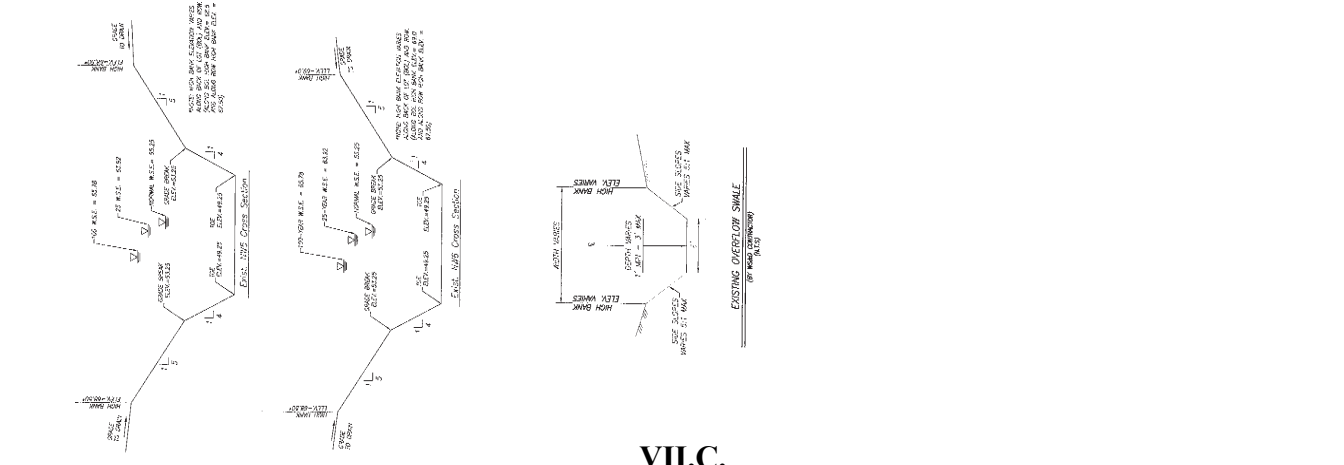
Jarrod D. Aden, P.E.
President

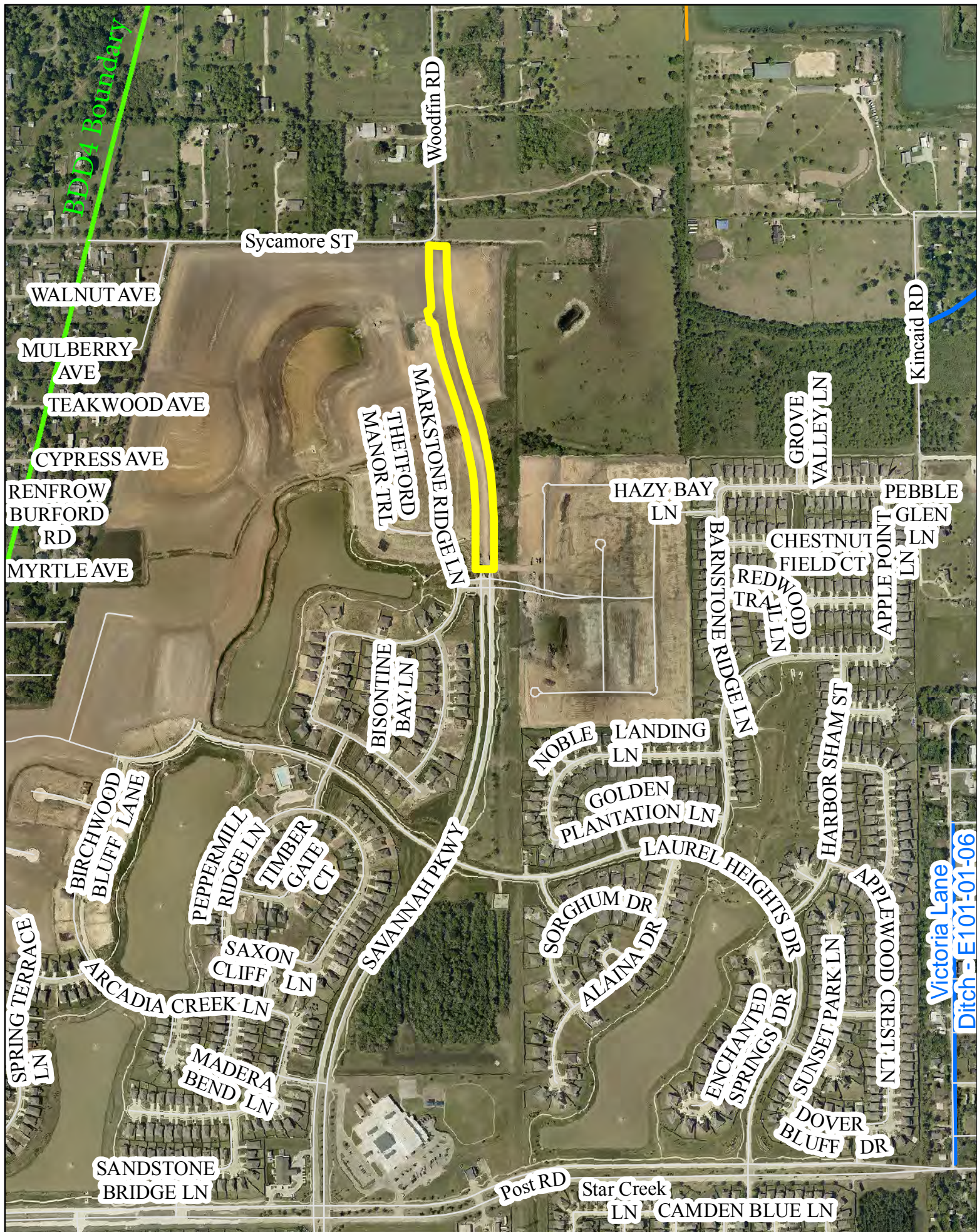
cc: Mr. John Genaro
Mr. Leigh Blumer
Ms. Sarah Roeber
Mr. Clint Goebel
Mr. Dillon Wilburn
Mr. Tom Daniel

JJA Engineering, Inc.
600 W. 300 "Houston" Parkway S
P.O. Box 890
Dallas, Texas 75262
Phone 713.953.5273
Fax 713.553.5255
•RVL-F-362

4 PROJECT NO.: 0288-173; 0388-732
DRAWN: BENJAMIN DESOR; DESIGNED: AUC 2/2/92

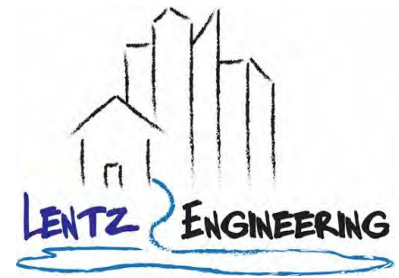
SCALE: 1" = 100'





July 21, 2020

Board of Commissioners
Brazoria Drainage District No. 4
4813 W. Broadway
Pearland, Texas 77581
via email: agengo@bdd4.org



Engineering Your Satisfaction

RE: Pedestrian Bridge
Independence Park
Pearland, Texas
FINAL Drainage Plan (2)
BDD 4 Ref ID#: 20169
LE-20004

Dear Commissioners:

We have reviewed the Final Drainage Plan as submitted for the above-mentioned project and offer the following comments:

1. This Drainage Plan is for a proposed pedestrian bridge on the East side of Pearland Parkway across the Weatherford Ditch in Independence Park.
2. The project does not propose any impervious cover requiring detention. This project proposes to replace an existing bridge.
3. BDD4 Special Notes are included on the plans.
4. We find the Drainage Plan to be in accordance with the Rules, Regulations and Guidelines effective May 1, 2013.

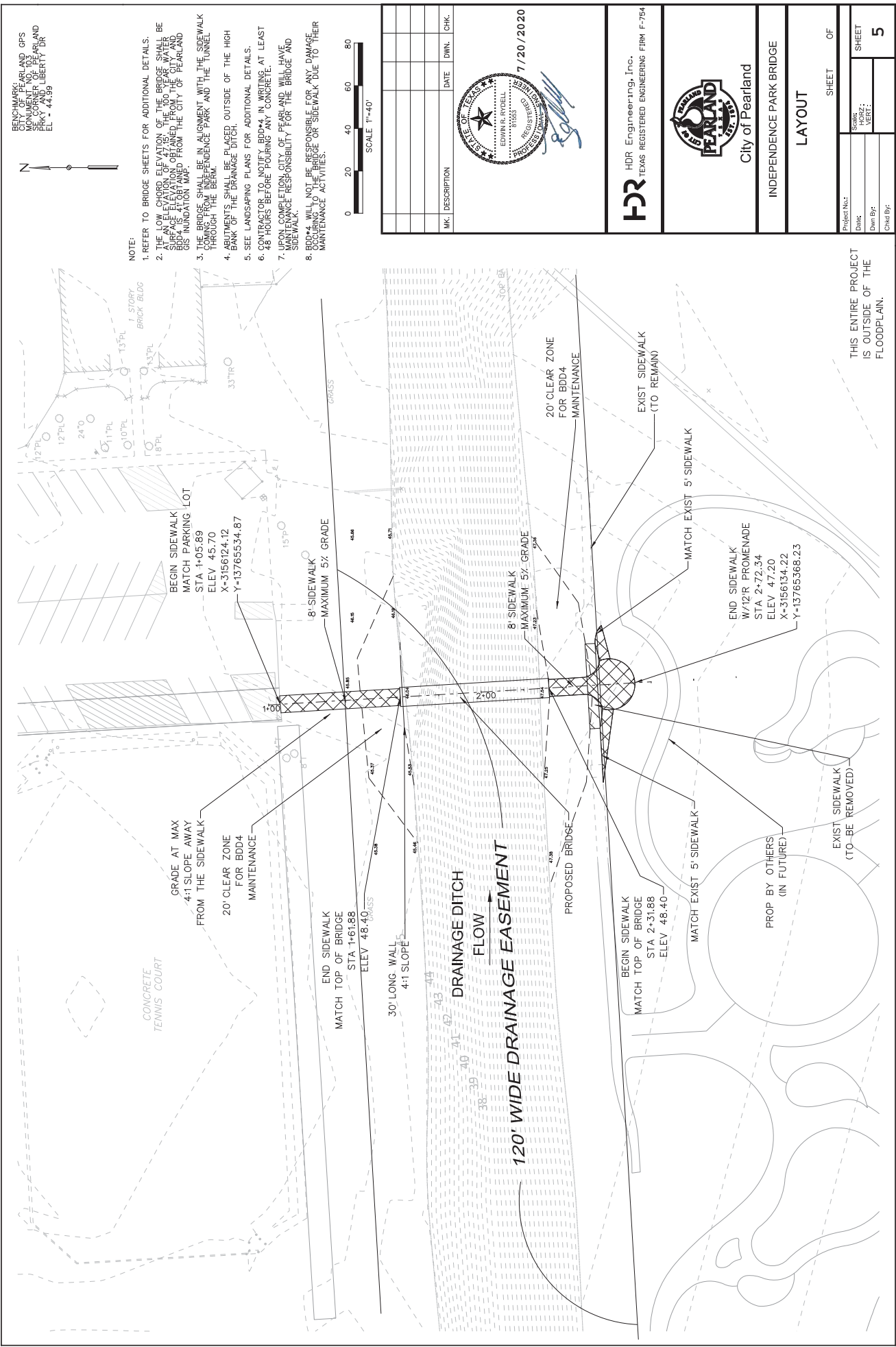
We support a decision by the Board to approve this drainage plan.

Sincerely
Lentz Engineering, LLC

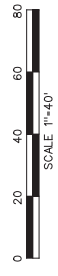
A handwritten signature in blue ink, appearing to read "Jarrod D. Aden", is written over a light blue horizontal line.

Jarrod D. Aden, P.E.
President

cc: Mr. John Genaro
Mr. Leigh Blumer
Ms. Sarah Roeber
Mr. Clint Goebel
Mr. Dillon Wilburn
Mr. Tom Daniel



- NOTE:
1. REFER TO BRIDGE SHEETS FOR ADDITIONAL DETAILS.
 2. THE LOW CHORD ELEVATION OF THE BRIDGE SHALL BE THE SAME AS THE ELEVATION OF THE ADJACENT SIDEWALK. ELEVATION OF THE ADJACENT SIDEWALK SHALL BE OBTAINED FROM THE CITY OF PEARLAND GIS INUNDATION MAP.
 3. THE BRIDGE SHALL BE IN ALIGNMENT WITH THE SIDEWALK THROUGH THE BEAM.
 4. ABUTMENTS SHALL BE PLACED OUTSIDE OF THE HIGH BANK OF THE DRAINAGE DITCH.
 5. SEE LANDSCAPING PLANS FOR ADDITIONAL DETAILS.
 6. CONTRACTOR TO NOTIFY BDD#4 IN WRITING AT LEAST 48 HOURS BEFORE POURING ANY CONCRETE.
 7. UPON COMPLETION CITY OF PEARLAND WILL HAVE MAINTENANCE RESPONSIBILITY FOR THE BRIDGE AND SIDEWALK.
 8. BDD#4 WILL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE BRIDGE OR SIDEWALK DUE TO THEIR MAINTENANCE ACTIVITIES.



NO.	DESCRIPTION	DATE	DWN.	CHK.

7/20/2020

HDR Engineering, Inc.
TEXAS REGISTERED ENGINEERING FIRM F-754

City of Pearland
INDEPENDENCE PARK BRIDGE
LAYOUT

SHEET OF

Project No.:	Scale:	Horizontal:	Vertical:	SHEET
Date:	Dwn By:	Chk By:		5

THIS ENTIRE PROJECT
IS OUTSIDE OF THE
FLOODPLAIN.



July 24, 2020

Mr. Sam Jawhary, P.E.
FIF Engineering
1526 Katy Gap Road, Suite 804
Katy, Texas 77494
cc: sam@fifengineering.com



RE: JT Plaza III
South of Fite Road and West of FM-1128
Pearland, Texas
Drainage Plan (3)
BDD 4 Ref ID#: 19198
LE-19004

Dear Mr. Jawhary:

On behalf of Brazoria Drainage District No. 4, we have reviewed the second submittal of the Final Drainage Plan as submitted for the above-mentioned project and find it to be in conformance with the Rules, Regulations, and Guidelines of Brazoria Drainage District # 4.

Our recommendation for approval is subject to the Board's approval of the variance requests for a vertical wall pond and reduced maintenance berms.

This Drainage Plan is for a proposed convenience store located on the South side of Fite Road between Oak Road and Covey Lane.

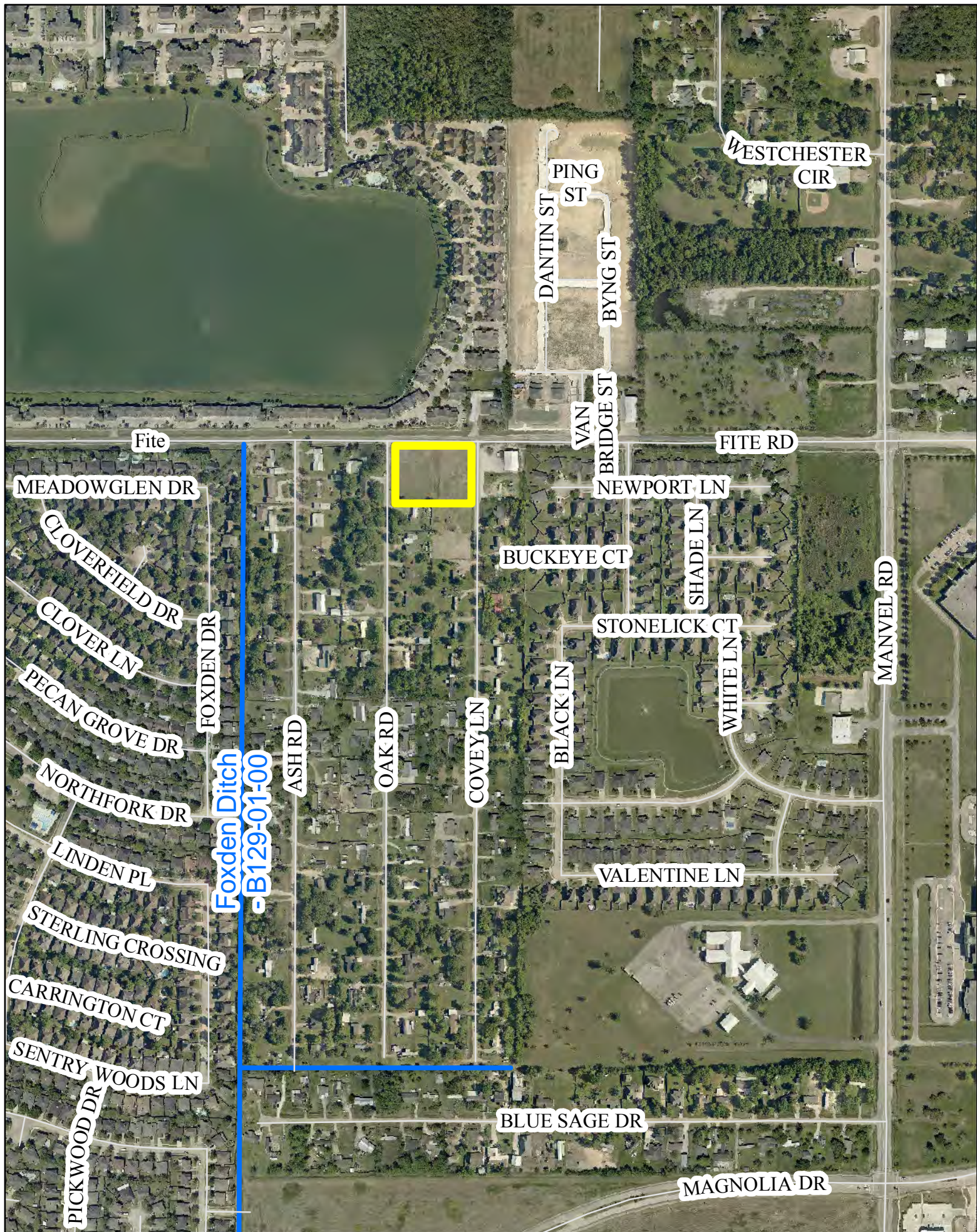
Sheet C-3 of the Drainage Plan shows that 0.5418 acre-feet of detention mitigation will be provided for 0.825 acres of impervious cover. The detention rate provided is 0.66 acre-feet / acre.

If you have any questions or require any further information, please do not hesitate to call.

Sincerely,
Lentz Engineering, LLC

Jarrod D. Aden, P.E.
President

cc: Mr. John Genaro
Mr. Leigh Blumer
Ms. Sarah Roeber
Mr. Clint Goebel
Mr. Dillon Wilburn
Mr. Tom Daniel
Board of Commissioners



July 24, 2020

Mr. Matthew Matula
Stantec Consulting Services, Inc.
910 Louisiana Street, Suite 2600
Houston, Texas 77002
cc: matthew.matula@stantec.com



RE: SWTP and Transmission Lines
FINAL Drainage Plan (2)
BDD 4 Ref ID#: 19195
LE-20004

Dear Mr. Matula:

On behalf of Brazoria Drainage District No. 4, we have reviewed the second submittal of the Final Drainage Plan as submitted for the above-mentioned project and find it to be in conformance with the Rules, Regulations, and Guidelines of Brazoria Drainage District # 4.

This Drainage Plan is for a proposed City waterlines in various locations between plant facilities.

This project does not propose impervious cover requiring detention.

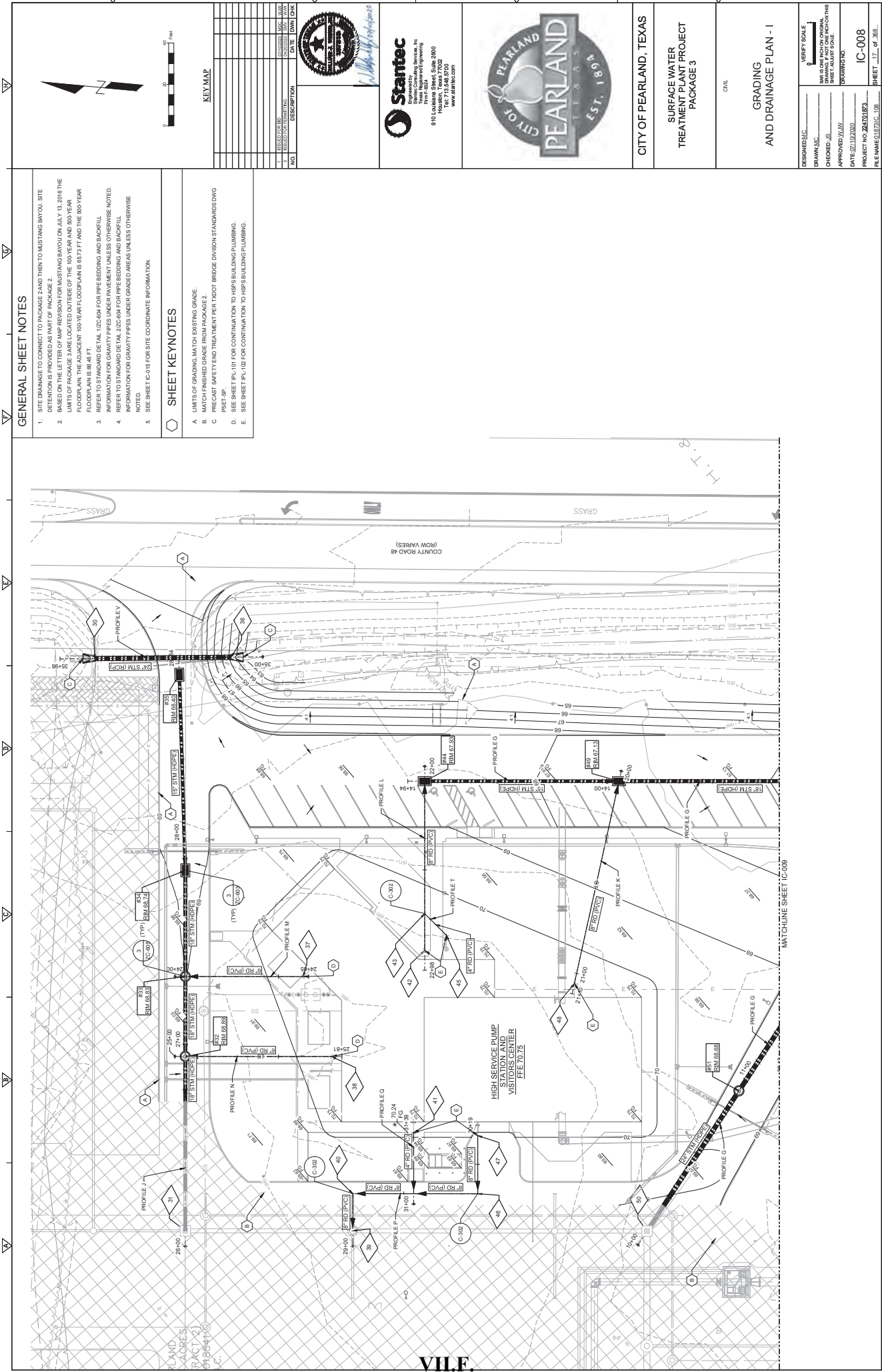
If you have any questions or require any further information, please do not hesitate to call.

Sincerely,
Lentz Engineering, LLC

A handwritten signature in blue ink, appearing to read "Jarrod D. Aden", is placed over a light blue rectangular background.

Jarrod D. Aden, P.E.
President

cc: Mr. John Genaro
Mr. Leigh Blumer
Ms. Sarah Roeber
Mr. Clint Goebel
Mr. Dillon Wilburn
Mr. Tom Daniel
Board of Commissioners



GENERAL SHEET NOTES

1. SITE DRAINAGE TO CONNECT TO PACKAGE 2 AND THEN TO MUSTANG BAYOU. SITE DETENTION IS PROVIDED AS PART OF PACKAGE 2.
2. BASED ON THE LETTER OF MAP REVISION FOR MUSTANG BAYOU ON JULY 13, 2018 THE LIMITS OF PACKAGE 3 ARE LOCATED OUTSIDE OF THE 100-YEAR AND 500-YEAR FLOODPLAIN. THE ADJACENT 100-YEAR FLOODPLAIN IS 65.73 FT AND THE 500-YEAR FLOODPLAIN IS 66.45 FT.
3. REFER TO STANDARD DETAIL 12C-604 FOR PIPE BEDDING AND BACKFILL INFORMATION FOR GRAVITY PIPES UNDER PAVEMENT UNLESS OTHERWISE NOTED.
4. REFER TO STANDARD DETAIL 22C-604 FOR PIPE BEDDING AND BACKFILL INFORMATION FOR GRAVITY PIPES UNDER GRADED AREAS UNLESS OTHERWISE NOTED.
5. SEE SHEET C-015 FOR SITE COORDINATE INFORMATION.

SHEET KEYNOTES

- A. LIMITS OF GRADING MATCH EXISTING GRADE.
- B. MATCH FINISHED GRADE FROM PACKAGE 2.
- C. PRECAST SAFETY END TREATMENT PER TxDOT BRIDGE DIVISION STANDARDS DWG PRET-SP.
- D. SEE SHEET P-101 FOR CONTINUATION TO UPS-BUS DWG PLUMBING.
- E. SEE SHEET P-102 FOR CONTINUATION TO UPS-BUS BUILDING PLUMBING.

KEY MAP



NO.	DESCRIPTION	DATE	DRAWN	CHECK
1	DESIGNED FOR THE CITY OF PEARLAND	02/02/2020	02/02/2020	02/02/2020
2	DESIGNED FOR THE CITY OF PEARLAND	02/02/2020	02/02/2020	02/02/2020
3	DESIGNED FOR THE CITY OF PEARLAND	02/02/2020	02/02/2020	02/02/2020
4	DESIGNED FOR THE CITY OF PEARLAND	02/02/2020	02/02/2020	02/02/2020
5	DESIGNED FOR THE CITY OF PEARLAND	02/02/2020	02/02/2020	02/02/2020
6	DESIGNED FOR THE CITY OF PEARLAND	02/02/2020	02/02/2020	02/02/2020
7	DESIGNED FOR THE CITY OF PEARLAND	02/02/2020	02/02/2020	02/02/2020
8	DESIGNED FOR THE CITY OF PEARLAND	02/02/2020	02/02/2020	02/02/2020
9	DESIGNED FOR THE CITY OF PEARLAND	02/02/2020	02/02/2020	02/02/2020
10	DESIGNED FOR THE CITY OF PEARLAND	02/02/2020	02/02/2020	02/02/2020



Engineered by Stantec
910 Louisiana Street, Suite 2800
Houston, Texas 77002
www.stantec.com



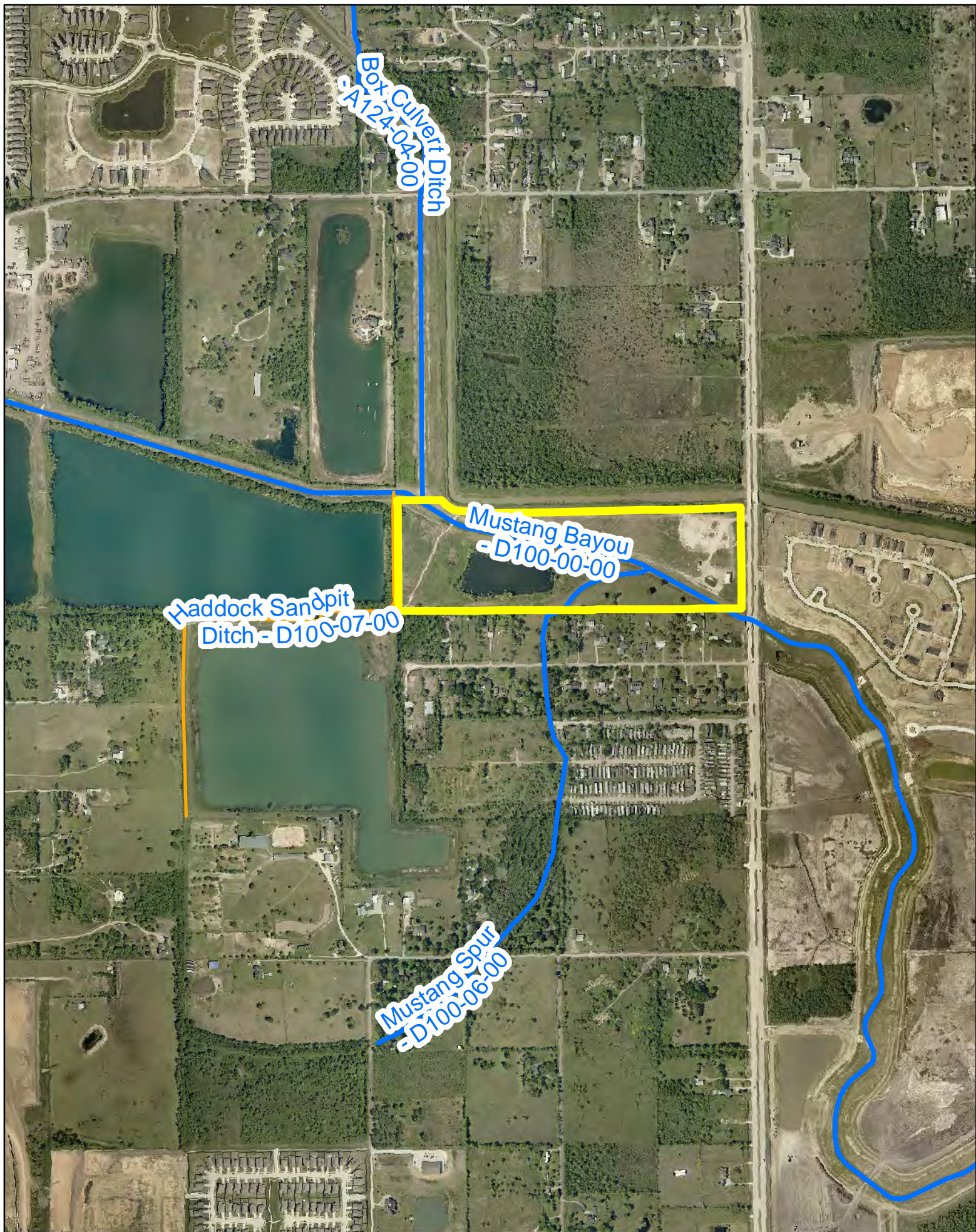
CITY OF PEARLAND, TEXAS

SURFACE WATER
TREATMENT PLANT PROJECT
PACKAGE 3

CIVIL

GRADING
AND DRAINAGE PLAN - I

DESIGNED BY: JLC	VERIFIED SCALE: 1"=40'
DRAWN BY: JLC	DATE: 02/02/2020
CHECKED BY: JLC	PROJECT NO: 24101073
APPROVED BY: JLC	FILE NAME: 11E71C_108
DATE: 02/02/2020	SHEET: 17 of 361
PROJECT NO: 24101073	IC-008



July 24, 2020

Adrian Gengo
Brazoria Drainage District No. 4
4813 W. Broadway
Pearland, Tx 77581

Re: Redeemer Church Phase I
BDD #4 Ref ID # 19175

Dear Adrian

We have reviewed the second submittal of the final submittal of Drainage Plans as submitted for the above-referenced project. Designer has adequately responded to previous comments in their revised plans. Therefore, we have no objection to these plans.

Please feel free to contact me with any questions or concerns.

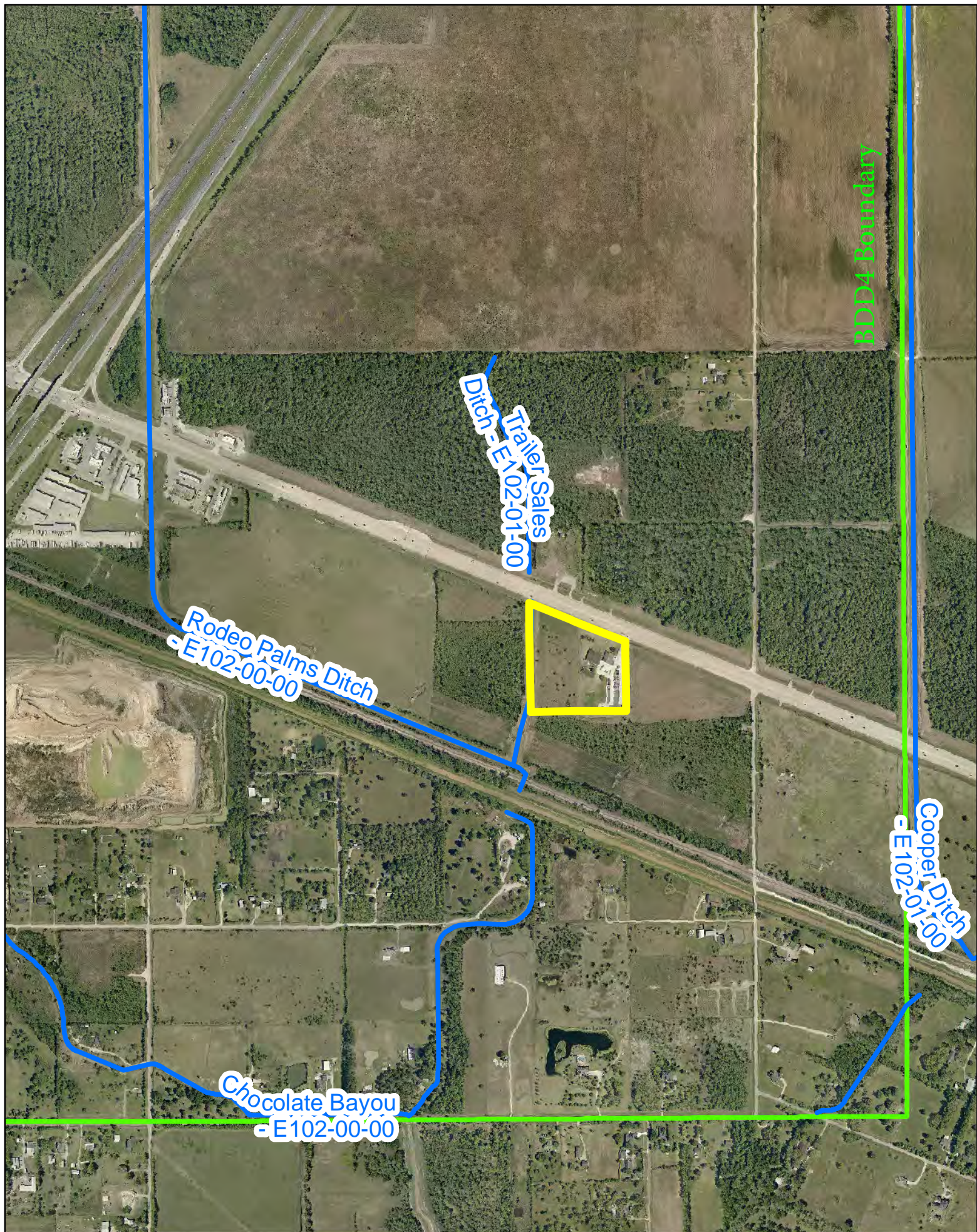
Sincerely,



Mehran (Ron) Bavarian, PE

Associate

cc: John Genaro



July 24, 2020

Mr. Dinh Ho, P.E.
Adico, LLC
1506 Winding Way Drive, Suite 201
Friendswood, Texas 77546
cc: dinh@adico-llc.com



RE: Girouard's Residence
FINAL Drainage Plan (2)
BDD 4 Ref ID#: 20184
LE-20004

Dear Mr. Ho:

On behalf of Brazoria Drainage District No. 4, we have reviewed the second submittal of the Final Drainage Plan as submitted for the above-mentioned project and find it to be in conformance with the Rules, Regulations, and Guidelines of Brazoria Drainage District # 4.

This Drainage Plan is for a proposed storage building located on the South side of Bailey Road and West of CR-101C.

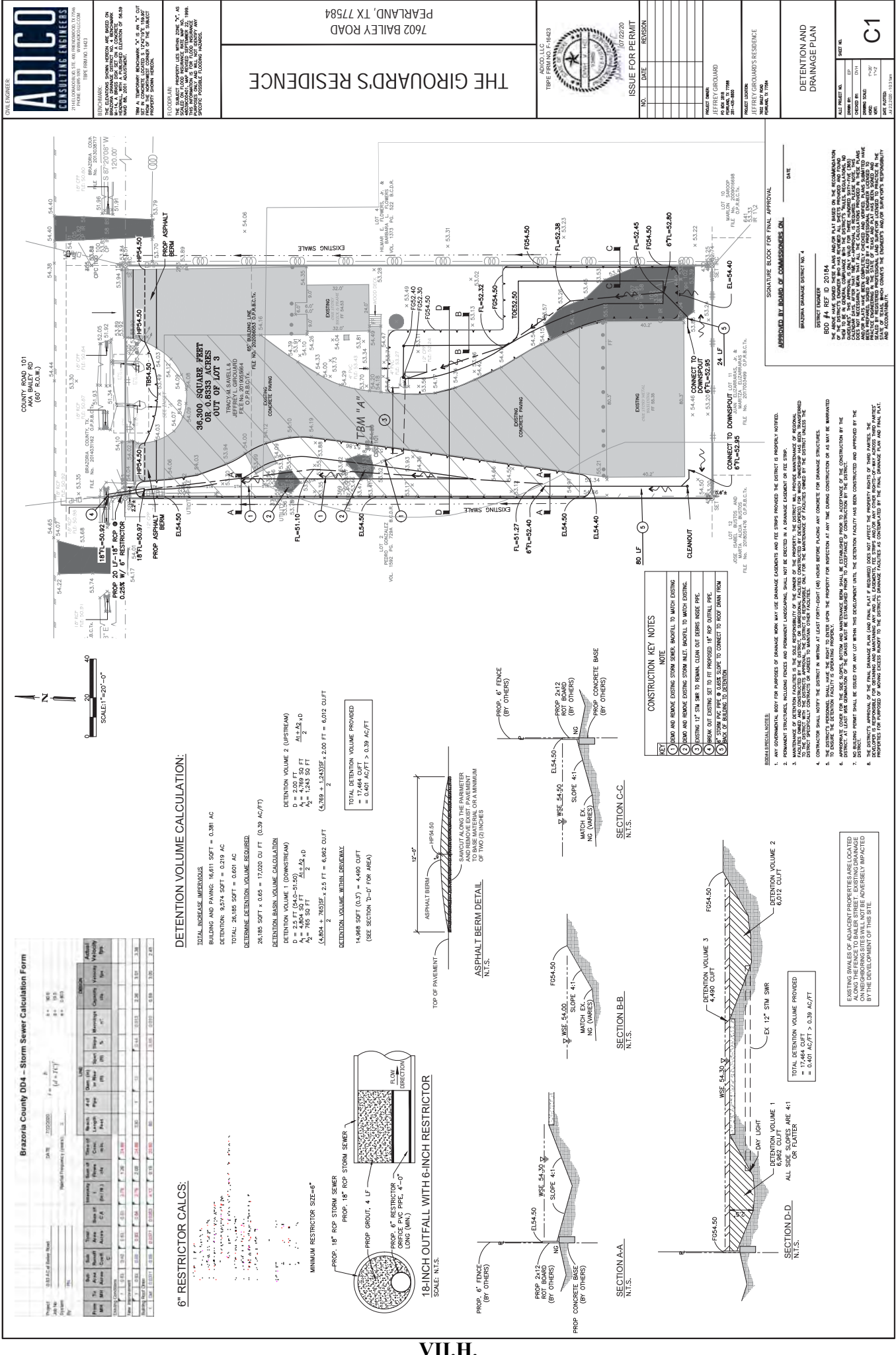
Sheet 1 of the Drainage Plan shows that the detention will provide 0.401 acre-feet of detention mitigation for the 0.601 acres of increase impervious cover. The detention rate provided is 0.67 acre-feet / acre.

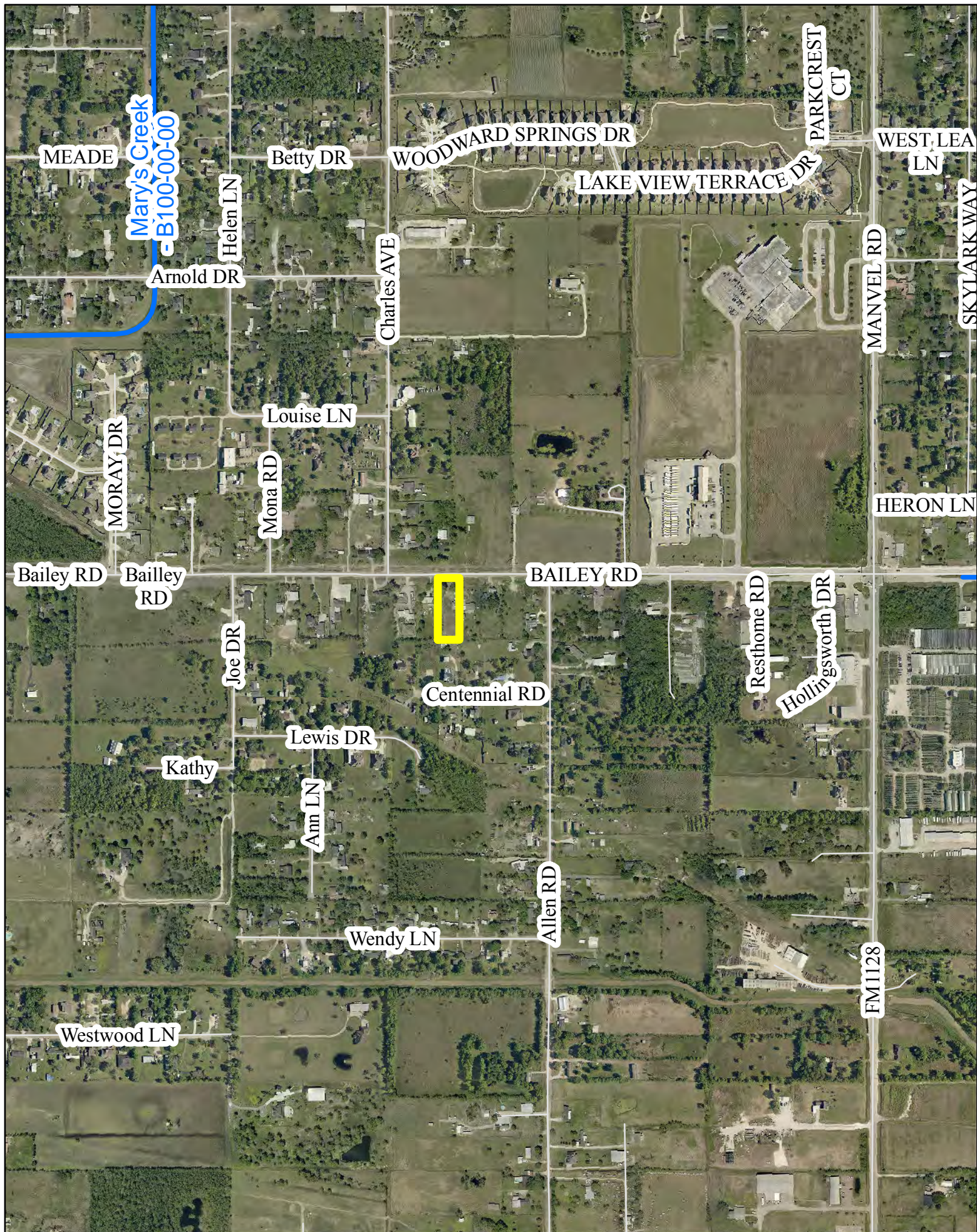
If you have any questions or require any further information, please do not hesitate to call.

Sincerely,
Lentz Engineering, LLC

Jarrod D. Aden, P.E.
President

cc: Mr. John Genaro
Mr. Leigh Blumer
Ms. Sarah Roeber
Mr. Clint Goebel
Mr. Dillon Wilburn
Mr. Tom Daniel
Board of Commissioners





July 24, 2020

Ms. Meleida Sierra, P.E.
LJA Engineering, Inc.
2929 Briarpark Drive, Suite 600
Houston, Texas 77042-3703
via email: msierra@ljaengineering.com



RE: Storm Water Pump Station
BFBC MUD 3 – Southern Colony
FINAL Drainage Plan (3)
BDD 4 Ref ID#: 20155
LE-20004

Dear Ms. Sierra:

On behalf of Brazoria Drainage District No. 4, we have reviewed the third submittal of the Final Drainage Plan as submitted for the above-mentioned project and find it to be in conformance with the Rules, Regulations, and Guidelines of Brazoria Drainage District # 4.

This Drainage Plan is for a proposed storm water pump station in the Caldwell Ranch development.

Detention for this project is provided in the overall Caldwell Ranch development. The detention rate provided is 1.16 acre-feet / acre.

If you have any questions or require any further information, please do not hesitate to call.

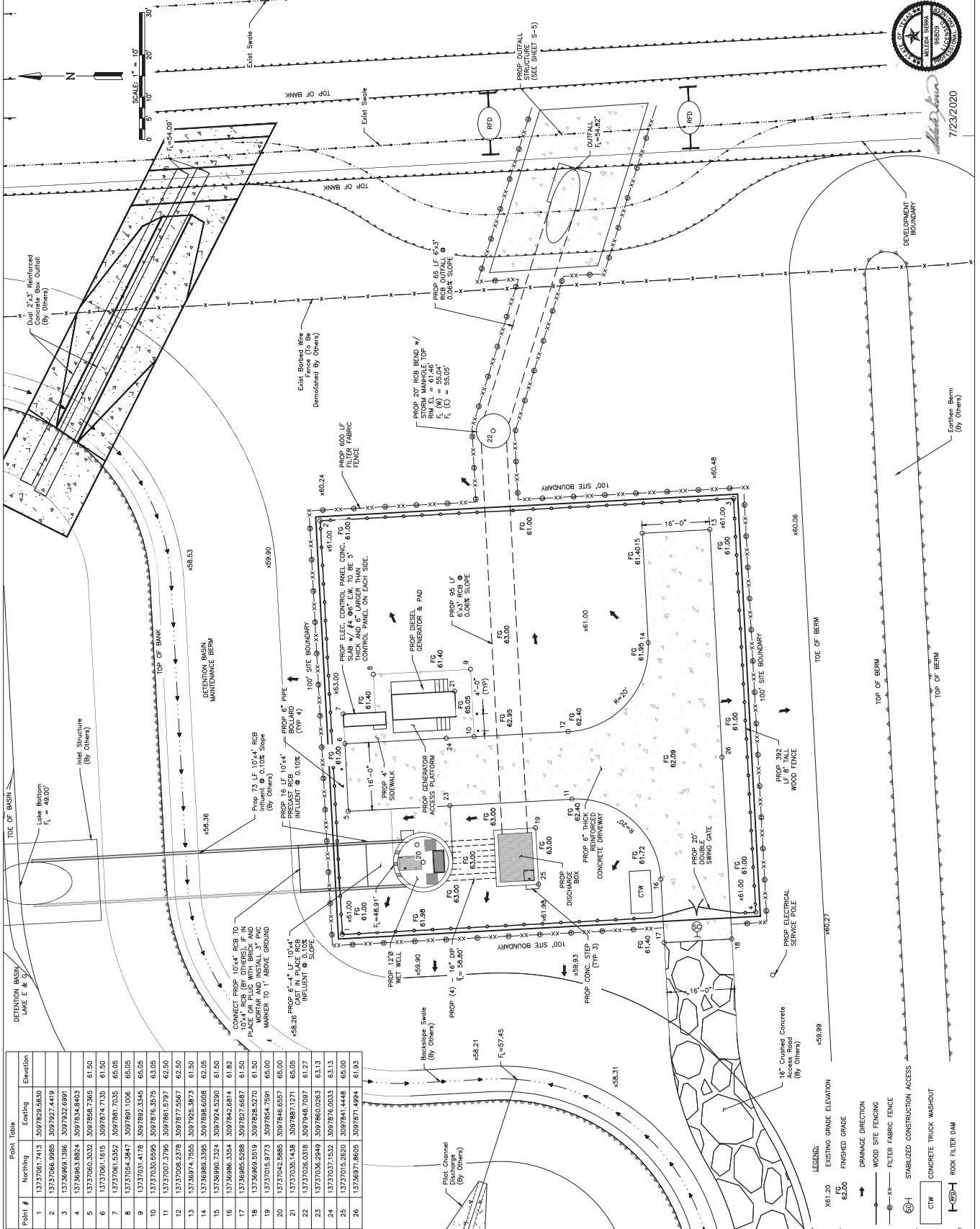
Sincerely,
Lentz Engineering, LLC

A handwritten signature in blue ink, appearing to read "Jarrod D. Aden", is placed over the typed name.

Jarrod D. Aden, P.E.
President

cc: Mr. John Genaro
Mr. Leigh Blumer
Ms. Sarah Roeber
Mr. Clint Goebel
Mr. Dillon Wilburn
Mr. Tom Daniel
Board of Commissioners

Point Table		
Point #	Northing	Elevation
1	13727061.7413	5097829.5630
2	13727066.9885	5097927.4419
3	13726969.1396	5097932.6991
4	13726963.6824	5097834.8403
5	13727060.3032	5097858.7365
6	13727061.1615	5097874.7135
7	13727061.5352	5097861.7035
8	13727064.3847	5097861.1006
9	13727031.4178	5097862.3344
10	13727030.5695	5097875.3575
11	13727027.7395	5097861.5797
12	13727028.2378	5097875.0287
13	13727067.7555	5097925.3673
14	13726969.3395	5097896.6008
15	13726990.7244	5097924.5290
16	13726986.3354	5097842.6814
17	13726985.5288	5097827.6687
18	13726969.5519	5097845.5270
19	13727015.9773	5097854.7991
20	13727042.6885	5097846.6597
21	13727035.4335	5097867.1271
22	13727026.0318	5097945.7097
23	13727036.8949	5097860.0263
24	13727027.1532	5097874.4448
25	13727015.9820	5097841.4448
26	13726971.8605	5097871.4994



POINT TABLE

Point #	Northing	Elevation
1	13727061.7413	5097829.5630
2	13727066.9885	5097927.4419
3	13726969.1396	5097932.6991
4	13726963.6824	5097834.8403
5	13727060.3032	5097858.7365
6	13727061.1615	5097874.7135
7	13727061.5352	5097861.7035
8	13727064.3847	5097861.1006
9	13727031.4178	5097862.3344
10	13727030.5695	5097875.3575
11	13727027.7395	5097861.5797
12	13727028.2378	5097875.0287
13	13727067.7555	5097925.3673
14	13726969.3395	5097896.6008
15	13726990.7244	5097924.5290
16	13726986.3354	5097842.6814
17	13726985.5288	5097827.6687
18	13726969.5519	5097845.5270
19	13727015.9773	5097854.7991
20	13727042.6885	5097846.6597
21	13727035.4335	5097867.1271
22	13727026.0318	5097945.7097
23	13727036.8949	5097860.0263
24	13727027.1532	5097874.4448
25	13727015.9820	5097841.4448
26	13726971.8605	5097871.4994

NOTES:

1. THE SITE TO BE SHOWN ON SITE PLAN.
2. THE SITE TO BE SHOWN ON SITE PLAN.
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APPENDIX:

NO.	DATE	REVISION

PROJECT INFORMATION:

PROJECT NO.: 1931-8057

BRAZORIA-FORT BEND COUNTIES

MUNICIPAL UTILITY DISTRICT NO. 3

STORMWATER PUMP STATION NO. 1

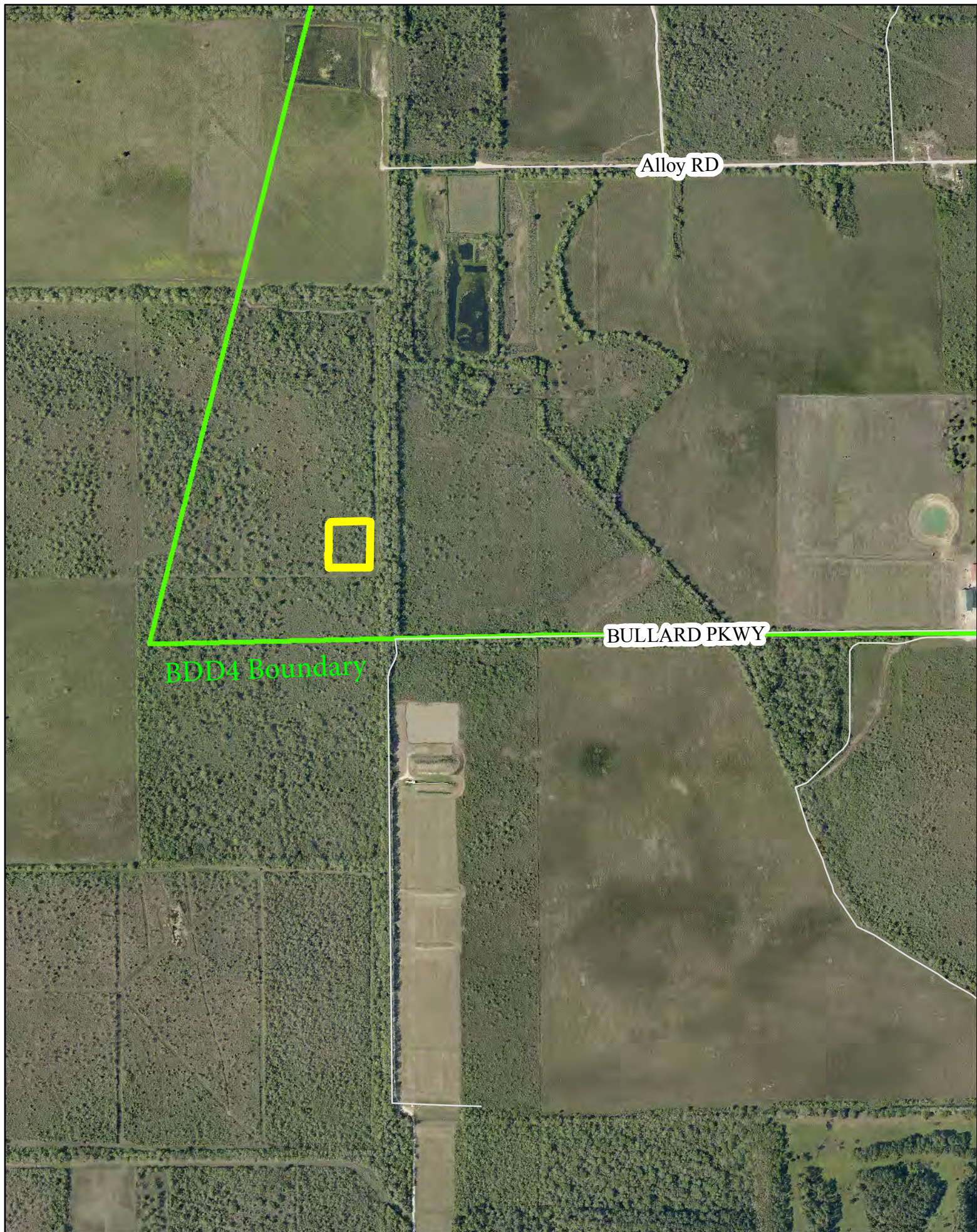
PUMP STATION SITE PLAN

SCALE: 1"=10'

DRAWN BY: [Signature]

DESIGNED BY: [Signature]

C-3 SHEET NO. 5 OF 27



July 24, 2020

Mr. Adrian Todsens, P.E.
LJA Engineering, Inc.
2929 Briarpark Drive, Suite 600
Houston, Texas 77042-3703
via email: atodsens@ljaengineering.com



RE: Pomona Master Drainage Plan
Addendum and Bridges
Drainage Impact Analysis (2)
BDD 4 Ref ID: 20158
LE-20004

Dear Mr. Todsens:

On behalf of Brazoria Drainage District No. 4, we have reviewed the second submittal of the Drainage Impact Analysis as submitted for the above-mentioned project and find it to be in conformance with the Rules, Regulations, and Guidelines of Brazoria Drainage District # 4.

This Drainage Impact Analysis is for two proposed bridges within the Pomona development.

The drainage report does not propose any impervious cover but detention will be provided for the future bridge improvement project.

If you have any questions or require any further information, please do not hesitate to call.

Sincerely,
Lentz Engineering, LLC

Jarrold D. Aden, P.E.
President

cc: Mr. John Genaro
Mr. Leigh Blumer
Ms. Sarah Roeber
Mr. Clint Goebel
Mr. Dillon Wilburn
Mr. Tom Daniel
Board of Commissioners

EXECUTIVE SUMMARY

The Pomona development is an approximately 1000-acre planned development within the Mustang Bayou (BDD4 Unit D100-00-00) Watershed in Brazoria County, Texas. It is planned to consist of approximately 1000-acres of residential and commercial mixed-use development. The purpose of this report is to summarize the analysis of the three (3) proposed bridges in the Pomona development that will cross Mustang Bayou (BDD4 Unit D100-00-00). The upstream bridge will be at the future Pomona Parkway extension, the next downstream bridge will be at the future Kirby Lane extension, and the furthest downstream bridge, which is currently unnamed, is between the Kirby Lane bridge and CR 84.

The new bridges over Pomona Parkway and Kirby Lane will be two (2) separate structures with 27 feet of separation between the two (2) decks. Due to the very short distance between the structures, the two (2) separate bridge structures will be modeled as a single (1) structure. For the Pomona Parkway and Kirby Lane structures, the bridge will have three (3) spans that are approximately 240 feet in overall length with 3X3-foot piers. The total bridge width will be about 100 feet. The proposed bridge low chord elevation for Pomona Parkway will be 67.02 feet (NGVD-29) based on the proposed plans and the low chord for Kirby Lane will be 66.8 feet (NGVD-29).

The collector road bridge will be one (1) structure with only one deck. The bridge will have three (3) spans that are approximately 240 feet in overall length with 3X3-foot piers. The total bridge width will be approximately 60 feet. The proposed bridge low chord for the collector road will be 66.08 feet (NGVD-29).

Overall, with the planned detention and constructed channel modifications, the proposed bridges can occur without any adverse impacts on Mustang Bayou (BDD4 Unit D100-00-00) or to adjacent properties. There are no increases in water surface elevation on Mustang Bayou (BDD4 Unit D100-00-00) for flood frequencies up to and including the 100-year storm events.

1.0 INTRODUCTION

1.1. Project Description and Location

This report presents a drainage analysis and drainage plan for the proposed three (3) bridges for the Pomona development in Brazoria County, Texas. This project will cross a FEMA studied stream, Mustang Bayou (BDD4 Unit D100-00-00), so the project is located partially within in the floodway limits of Mustang Bayou (BDD4 Unit D100-00-00), as shown on FIRM panel # 48039C0020H (Effective date June 5, 1989). No fill will be placed within floodway. The upstream bridge will be at the future Pomona Parkway extension, the next downstream bridge will be at the future Kirby Lane extension, and the furthest downstream bridge, which is currently unnamed, is between the Kirby Lane bridge and CR 84. A project vicinity map and bridge layout are shown on **Exhibit 1** and **Exhibit 2** respectively. A copy of the FEMA FIRM is included in **Exhibit 3**.

1.2. Scope of Work

The scope of work consists of providing drainage analysis and bridge layouts for the proposed Pomona Parkway, Kirby lane and collector road over Mustang Bayou (BDD4 Unit D100-00-00). This drainage report will document the hydraulics of existing channel conditions and the proposed bridge structures. A separate scour analysis report will be submitted.

1.3. Datum Information

As stated in the MDP, the effective Mustang Bayou (BDD4 Unit D100-00-00) Flood Insurance Study (FIS) computer models and FIRMs obtained from FEMA use National Geodetic Vertical Datum of 1929 (NGVD-29). The benchmarks for the survey were based on the 1978 Adjustment. Overbank information is based on LiDAR obtained for the Coastal Study by the Texas Natural Resources Information System (TNRIS). This LiDAR was obtained in flights performed in 2005 and is based on the North American Vertical Datum of 1988 (NAVD88). The following equation is used to adjust the elevations between the two datums:

$$\text{NGVD-29, 1978 Adjustment} = \text{NAVD 88} + 1.55 \text{ feet}$$

Survey of the control points used for the LiDAR in the vicinity of the project was performed to determine the adjustment required between the NAVD88 LiDAR and the NGVD-29 (1978 adjustment). All elevations used in this report are referenced to the NGVD-29 datum (1978 adjustment) unless stated otherwise.

1.4. Referenced documents and Construction Plans

- FEMA, "Flood Insurance Rate Map (FIRM) for Brazoria County, Texas and Incorporated Areas (Map Number 48039C0020H)," effective June 5, 1989.
- FEMA, FIS for Brazoria County, Texas and Incorporated Areas, revised September 22, 1999.
- FEMA, FEMA, Letter of Map Revision Determination Document "Mustang Bayou (BDD4 Unit D100-00-00) – Pomona Phase 2 (Case No. 17-06-3110P)," LJA Engineering, Inc, effective date June 29, 2017.
- BDD4, "Pomona Master Drainage Plan January 2014", Chad Johnson, LJA Engineering, Inc, January, 2014.
- BDD4, "Pomona Master Drainage Plan Addendum 2014", Chad Johnson, LJA Engineering, Inc, 2014.

July 24, 2020

Mr. Jared Bowlin, P.E.
EHRA, Inc.
10555 Westoffice Drive
Houston, Texas 77042
cc: jbowlin@ehrainc.com



RE: Rodeo Palms, The Lakes 3
FINAL Drainage Plan (2)
BDD 4 Ref ID#: 20172
LE-20004

Dear Mr. Bowlin:

On behalf of Brazoria Drainage District No. 4, we have reviewed the second submittal of the Final Drainage Plan as submitted for the above-mentioned project and find it to be in conformance with the Rules, Regulations, and Guidelines of Brazoria Drainage District # 4.

This Drainage Plan is for a section of proposed single family residential located in the Rodeo Palms development West of SH-288 and South of CR-58.

Sheet 4A of the plans shows that this proposed section has detention provided within the overall Rodeo Palms development. Within the development detention is provided at a rate of 0.73 acre-feet / acre.

If you have any questions or require any further information, please do not hesitate to call.

Sincerely,
Lentz Engineering, LLC

A handwritten signature in blue ink, appearing to read "Jarrod D. Aden", is placed over the typed name.

Jarrod D. Aden, P.E.
President

cc: Mr. John Genaro
Mr. Leigh Blumer
Ms. Sarah Roeber
Mr. Clint Goebel
Mr. Dillon Wilburn
Mr. Tom Daniel
Board of Commissioners

SCALE: HORIZ. VERT.
P-3618
SHEET 4A OF 29 SHEETS

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P:\031-

GCWA Canal Seep
Ditch - E102-01-01

New Hope Church
Ditch - E102-01-00

Rodeo Palms Ditch
- E102-00-00

State Ditch - E102-05-00



July 24, 2020

Board of Commissioners
c/o Adrian Gengo
Brazoria Drainage District No. 4
4813 West Broadway
Pearland, Texas 77581
cc: agengo@bdd4.org

RE: Caldwell Tract
Addendum 1
Drainage Impact Analysis (1)
BDD 4 Ref ID: 19121
LE-19004

Dear Commissioners:

On behalf of Brazoria Drainage District No. 4, we have reviewed the first submittal of the Drainage Impact Report as submitted for the above-mentioned project and find it to be in conformance with the Rules, Regulations, and Guidelines of Brazoria Drainage District # 4.

The purpose of this addendum is to show that a school can be built without an adverse impact. The School District needs to start construction as soon as possible to meet their project schedule and could not wait until the stormwater pump station is completely constructed.

If you have any questions or require any further information, please do not hesitate to call.

Sincerely,
Lentz Engineering, LLC

Jarrod D. Aden, P.E.
President

cc: Mr. John Genaro
Mr. Leigh Blumer
Ms. Kimberley Woodall
Ms. Sarah Roeber
Mr. Matt Hanks, P.E.
Mr. Bob Bardin, P.E.



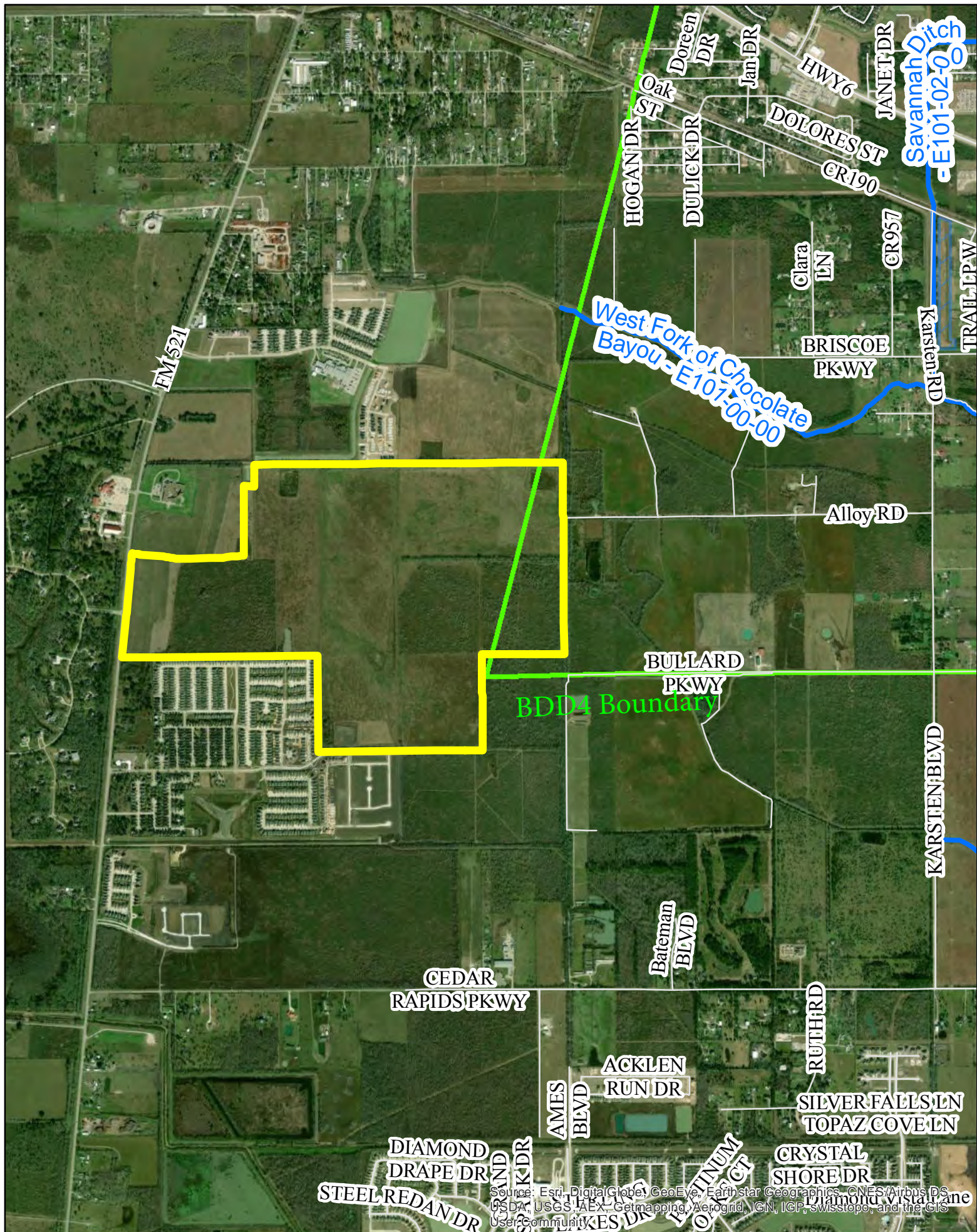
Figure 1 Caldwell Tract Analysis Area

To demonstrate no adverse impacts, the existing flows leaving the tract will not be exceeded. The allowable discharge is based on the capacity of the outfall channels or existing conditions runoff leaving the tract, whichever is less. The downstream limits of the analysis are located at the east boundary of the tract. The Chocolate Bayou Watershed was not studied in detail downstream of the tract since flows leaving the site will not increase and the hydraulic characteristics of Chocolate Bayou will not be altered.

Due to the shallow depth, flat topography, and limited outfall capacity, pumped detention is proposed for the ultimate development of the Caldwell Tract. The interim condition will not use pumped outfall; the drainage will rely entirely on gravity outfall. In order to drain the interim conditions development without exceeding the allowable discharge and meet the minimum freeboard requirements, minor revisions will be needed on a temporary basis.

In the ultimate conditions, gravity discharge is provided by 2-2x3 reinforced concrete box culverts with a flowline elevation of 54.8' (NAVD 88, 2001 adj). For the interim conditions, additional depth will be needed to provide more volume in the detention system for mitigating impacts. Therefore, a temporary outfall is proposed that will replace the ultimate conditions outfall. The temporary outfall will consist of 2-30" Corrugated Metal Pipes (CMP) with a flowline of 53.8'. The decreased flowline elevation will result in more detention volume needed to restrict the discharge to the allowable release rate.

Since the temporary CMP's, combined with the 2-3x2 RCB's, will result in a combined discharge in excess of the allowable discharge, it is proposed that the RCB's not be used in Interim conditions. The combination of storage and restricted discharge will result in drain times in excess of 48 hours. Therefore, a "back to back" storm simulation (100-year 48 hour storm event) was used to analyze the interim conditions similarly to the approved ultimate conditions DIA.



July 21, 2020

Board of Commissioners
c/o Adrian Gengo
Brazoria Drainage District No. 4
4813 West Broadway
Pearland, Texas 77581
cc: agengo@bdd4.org



RE: Goldsberry Addition
Final Plat
BDD 4 Ref ID#: 20186
LE-20004

Dear Commissioners:

We have reviewed the recent submittal of the Final Plat as submitted for the above-mentioned project. No District facilities are within or adjacent to this tract therefore no District easements are needed.

Finally, District personnel are handling the review of other administrative aspects of the plat which has been submitted to the District office.

Based upon our findings, we support a decision by the Board to approve the plat. If you have any questions or require any further information, please do not hesitate to call.

Sincerely,
Lentz Engineering, LLC

A handwritten signature in blue ink, appearing to read "Jarrod D. Aden", is written over a light blue rectangular background.

Jarrod D. Aden, P.E.
President

Ms. Sarah Roeber
Mr. Tom Daniel
Mr. Rajendra Shrestha, P.E., C.F.M. - Pearland
Mr. Parviz Pourazizian, E.I.T., C.F.M. - Pearland
Engineer-Development – Brazoria County

